

ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20230991410, SUBMITTED ON 3/10/2023.

UTILITIES:	
COMPANY: COMCAST CABLE LEBANON ADDRESS: 610 USIC LOCATING SERVICES INC 13085 HAMILTON CROSSING BLVD STE 202 CARMEI, IN. 46032 CONTACT: USIC OFFICE PERSONNEL PHONE: 800-611-7891	COMPANY: NORTH LEBANON TOWNSHIP ADDRESS: 725 KIMMERLINGS ROAD LEBANON, PA. 17046 CONTACT: OFFICE PERSONNEL (MOLLY, ERIKA OR THERESA) PHONE: 717-273-7132
COMPANY: VERIZON PENNSYLVANIA LLC ADDRESS: 1026 HAY ST PITTSBURGH, PA. 15221 CONTACT: DEBORAH BARUM EMAIL: DEBORAH.D.DELA@VERIZON.COM PHONE: 412-344-3901	COMPANY: METROPOLITAN EDISON CO/FIRSTENERGY ADDRESS: 21 S MAIN ST AKRON, OH. 44308 CONTACT: TICKET SCREENING PERSONNEL EMAIL: TICKET_SCREENING@FIRSTENERGYCORP.COM PHONE: 330-384-3824
COMPANY: BUCKEYE PARTNERS ADDRESS: THE BUCKEYE BUILDING 5161 HAMILTON BLVD ALLEN TOWNSHIP, PA. 18106 CONTACT: DAVE JONES EMAIL: DAJONES@BUCKEYE.COM PHONE: 610-904-4409	COMPANY: ZAYO BANDWIDTH FORMERLY PPL TELCOM LLC ADDRESS: 170 ROBBINS RD DOWNTOWN, PA. 19335 CONTACT: JOHN HOWELLS EMAIL: JOHN.HOWELLS@ZAYO.COM PHONE: 610-478-1634
COMPANY: LEBANON AUTHORITY CITY OF ADDRESS: 2211 RIDGEVIEW ROAD LEBANON, PA. 17042 CONTACT: BOB SENTZ EMAIL: BSSENTZ@LEBANONAUTHORITY.ORG PHONE: 717-272-2841	COMPANY: VERIZON NORTH ADDRESS: 37 W 8TH ST WYOMING, PA. 18644 CONTACT: RONALD SILINSKIE EMAIL: RONALD.SILINSKIE@VERIZON.COM PHONE: 970-826-4263
	COMPANY: UGI UTILITIES INC ADDRESS: 1301 AIP DR MIDDLETOWN, PA. 17057 CONTACT: STEPHEN BATEMAN EMAIL: SBATEMAN@UGI.COM PHONE: 610-907-3174



CDC	Member Name	Response	Response Date	Initials
BZ	COMCAST CABLE COMMUNICATIONS INC	ENGINEERING COMPLETED. A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR.	3/24/2023 12:26	CLS-VEBSVC
HC	VERIZON PENNSYLVANIA LLC	CONFLICT. LINES NEARBY. DIRECT CONTACT TO FOLLOW BY FACILITY OWNER.	5/9/2023 15:49	AAA-VEBSVC
JA	BUCKEYE PARTNERS	CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION.	3/10/2023 12:08	AAA-VEBSVC
LE	LEBANON AUTHORITY CITY OF	ENGINEERING COMPLETED. A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR.	3/10/2023 16:09	BS-WEB
LK	NORTH LEBANON TOWNSHIP	DESIGN CONFLICT. PLEASE EMAIL OR SEND PLANS TO: OFFICE PERSONNEL (MOLLY, ERIKA OR THERESA) NORTH LEBANON TOWNSHIP 725 KIMMERLINGS ROAD LEBANON PA 17046	3/13/2023 7:10	TOM-VEBSVC
ME	METROPOLITAN EDISON CO/FIRSTENERGY	ENGINEERING COMPLETED. A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR.	3/10/2023 16:51	MBR-VEBSVC
PLL	ZAYO BANDWIDTH FORMERLY PPL TELCOM LLC	CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION.	3/10/2023 14:41	AAA-VEBSVC
TF	VERIZON NORTH	CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION.	3/10/2023 14:41	AAA-VEBSVC
UI	UGI UTL HARRISBURG	DESIGN CONFLICT. PLEASE EMAIL OR SEND PLANS TO: STEPHEN BATEMAN UGI UTILITIES INC 1301 AIP DR MIDDLETOWN PA 17057 SBATEMAN@UGI.COM	3/10/2023 12:07	ATS-VEBSVC

E&S PLAN APPROVAL INFORMATION

LOCD FILE NO.: 38-917.025-24
NDPES PERMIT NO.: PAC380312
APPROVED: AUGUST 15, 2024

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR

SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP LEBANON COUNTY, PENNSYLVANIA

PLAN PREPARERS

INTEGRATED CONSULTING
430 NORTH FRONT STREET
WORMLEYSBURG, PA 17043



CONTACT: JUSTIN KUHN, P.E.
TELEPHONE: 717-386-1362
EMAIL ADDRESS: Justin@integratedCP.com

EQUITABLE LANDOWNER AND DEVELOPER

SUMMIT LAND DEVELOPMENT, LLC
KENNETH L. CARPER JR.
320 GRANITE RUN DRIVE
LANCASTER, PA 17601

CONTACT: KENNETH L. CARPER JR.
TELEPHONE: 717-581-4732
EMAIL ADDRESS: KEN@KENNETHHOMES.NET

RECORD LANDOWNERS

BRYAN S. & BARBARA M. PERRY
ADDRESS: 1675 GRACE AVENUE, LEBANON, PA 17046
TAX PARCEL: 27-2331984-381362
DEED REF.: BK 295, PG 97 & BK 243, PG 970
TELEPHONE: 717-821-5010

BERNARD J. RIDILLA IV
ADDRESS: 170 RILL DRIVE, LEBANON, PA 17042
TAX PARCEL: 27-2332351-381959
DEED REF.: BK 2263, PG 7788 & BK 23, PG 21
TELEPHONE: 717-773-1304

PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS TO PROPOSE THE SUBDIVISION OF THE TWO (2) EXISTING TRACTS INTO THIRTY (30) RESIDENTIAL SINGLE-FAMILY LOTS AND TO PROPOSE THE CONSTRUCTION OF TWENTY-EIGHT (28) RESIDENTIAL, SINGLE-FAMILY DETACHED DWELLINGS AND ASSOCIATED IMPROVEMENTS SHOWN HEREON. TWO (2) EXISTING DWELLINGS ARE TO REMAIN.

WAIVER REQUESTS

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVER(S) FROM THE LEBANON COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

WAIVER TYPE: SECTION 5.02.2 SECTION 5.02.1	- MAXIMUM RESIDENTIAL LOT DEPTH - LOT SHAPE: AVOID L-SHAPED, T-SHAPED, TRIANGULAR OR INAPPROPRIATELY SHAPED LOTS FOR LOTS 8 AND 27-29	APPROVAL DATE: 09/15/2025 09/15/2025
SECTION 5.11 SECTION 5.12	- MONUMENTATION LOCATION - FIRE HYDRANT SPACING	09/15/2025 09/15/2025

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVER FROM THE NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE:

WAIVER TYPE: SECTION 301.6	- INCREASED DISCHARGE TO THE EXISTING TOWNSHIP ROAD RIGHT-OF-WAY	APPROVAL DATE: 09/15/2025
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SHEET INDEX

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* SHEETS 01 TO 29 TO BE RECORDED
SUPPLEMENTAL PLANS:
- E&S CONTROL PLAN
- LIGHTING PLAN

CERTIFICATION OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BERNARD J. RIDILLA, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE/IS/HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND PLAN, THAT HE/SHE DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

OWNER: BERNARD J. RIDILLA IV
TELEPHONE: 717-821-5010
ADDRESS: 1677 GRACE AVENUE, LEBANON, PA 17046

NOTARY PUBLIC: _____ (PRINT) MY COMMISSION EXPIRES _____, 20____.

LAND SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

MATTHEW DAVIS, PLS. _____ DATE _____

CIVIL ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

JUSTIN KUHN, P.E. No. 074912 _____ DATE _____

SWM ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT AND COMPLIES WITH THE PROVISIONS OF THE NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

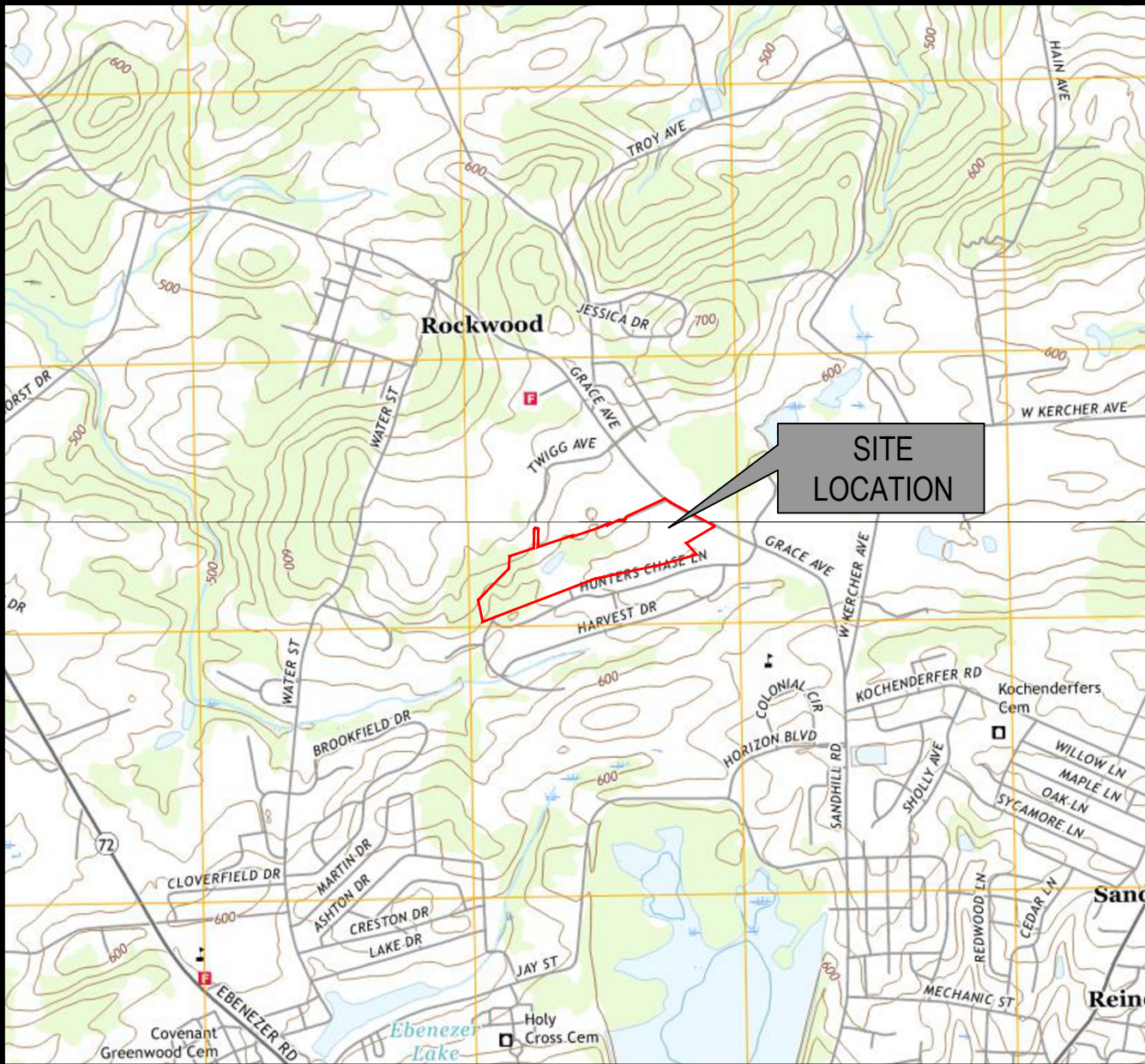
JUSTIN KUHN, P.E. No. 074912 _____ DATE _____

RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR LEBANON COUNTY, PENNSYLVANIA, IN

SUBDIVISION PLAN BOOK _____, VOLUME _____, PAGE _____, WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

* SIGNATURE AND SEAL OF THE RECORDER OF DEEDS



CERTIFICATION OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BRIAN PERRY AND BARBARA PERRY, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED, THAT HE ACKNOWLEDGES ALL STORMWATER MANAGEMENT FACILITIES ARE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP, AND THAT HE/SHE ACKNOWLEDGES AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

OWNER: BRYAN PERRY
TELEPHONE: 717-821-5010
ADDRESS: 1675 GRACE AVENUE, LEBANON, PA 17046

OWNER: BARBARA PERRY
TELEPHONE: 717-821-5010
ADDRESS: 1675 GRACE AVENUE, LEBANON, PA 17046

NOTARY PUBLIC: _____ (PRINT) MY COMMISSION EXPIRES _____, 20____.

TOWNSHIP PLANNING COMMISSION

RECOMMENDED FOR APPROVAL BY THE TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN: _____ (PRINT)

TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE NORTH LEBANON TOWNSHIP BOARD OF SUPERVISORS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS _____ DAY OF _____, 20____.

CHAIRMAN: _____ (PRINT) SECRETARY: _____ (PRINT)

TOWNSHIP BOARD OF SUPERVISORS (SWM)

AT A MEETING HELD ON _____, 20____, THE BOARD OF SUPERVISORS OF NORTH LEBANON TOWNSHIP, LEBANON COUNTY, PENNSYLVANIA, APPROVED THE STORMWATER MANAGEMENT SITE PLAN FOR THE PROPERTY AS SHOWN HEREON. NO OTHER STORMWATER MANAGEMENT SITE PLAN OR PLANS SHALL BE RECOGNIZED. APPROVAL INCLUDES ALL DOCUMENTATION, INCLUDING THE COMMENTS OR REQUIREMENTS OF OFFICIAL REVIEWING INDIVIDUALS OR AGENCIES. APPROVAL IS BASED ON COMPLIANCE WITH APPLICABLE ORDINANCES, RULES, AND REGULATIONS, AND SHALL NOT BE CONSTRUED AS A GUARANTEE TO ANY PERSON OR ORGANIZATION THAT THE DESIGN OF ANY PART OF THE PLAN WILL FUNCTION AS ANTICIPATED UNDER ANY OR ALL CONDITIONS OR SITUATIONS. ADDITIONALLY, THAT BY REVIEW AND/OR APPROVAL OF THE PLAN, THE TOWNSHIP EXPRESSLY DECLINES THE ASSUMPTION OF LIABILITY ERRORS, OMISSIONS, OR MISTAKES IN JUDGEMENT IN THE DESIGN, ENGINEERING, CONSTRUCTION, OR EXPECTED FUNCTION OF THE MATTERS REVIEWED AND/OR APPROVED.

CHAIRMAN: _____ (PRINT) SECRETARY: _____ (PRINT)

TOWNSHIP ENGINEER

REVIEWED BY NORTH LEBANON TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

TWP. ENGINEER: _____ (PRINT)

COUNTY PLANNING DEPARTMENT

REVIEWED BY THE LEBANON COUNTY PLANNING DEPARTMENT THIS _____ DAY OF _____, 20____.

DIRECTOR OF PLANNING: _____ (PRINT)

PLAN DATE

ISSUE DATE: AUGUST 11, 2023
REVISION DATE: NOVEMBER 9, 2023
JANUARY 23, 2024
FEBRUARY 06, 2024
MARCH 25, 2024
MAY 15, 2024
JUNE 5, 2024
SEPTEMBER 3, 2024
JULY 14, 2025
SEPTEMBER 15, 2025



430 NORTH FRONT STREET
WORMLEYSBURG, PA 17043
717.878.8750
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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
SUMMIT LAND DEVELOPMENT, LLC

LEBANON COUNTY

NORTH LEBANON TOWNSHIP

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JKL
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	01 - LD COVERSHEET

NO.	DATE	DESCRIPTION
1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER WATER AUTHORITY ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
5	05/15/2024	REVISED PER HDP SUBMISSION
6	06/05/2024	REVISED PER TWP. ENGINEER REVIEW
7	07/14/2025	REVISED PER RETAINING WALL DESIGN BY OTHERS
8	09/15/2025	ISSUED FOR RECORDING

TITLE
COVER SHEET

SHEET NO.

01 of 39

AREA AND BULK REGULATIONS

LOCATION:	ALONG GRACE AVENUE, LEBANON, PA 17046			
PARCEL(S):	27-2331984-381362-0000 & 27-2332351-381959-0000			
ZONE:	RURAL RESIDENTIAL (RR) & LOW DENSITY RESIDENTIAL (R1) DISTRICTS			
USE:	SINGLE-FAMILY DETACHED DWELLINGS WITH PUBLIC WATER AND SEWER			
#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM LOT SIZE (NET)	\$27-503 (R1 DISTRICT)	15,000 SF (NET)	LOT 26: 15,110 SF (NET)
		\$27-403 (RR DISTRICT)	20,000 SF (NET)	LOT 27: 87,486 SF (NET)
		\$27-503 (R1 DISTRICT)	110 FT	110 FT
2	MINIMUM LOT WIDTH	\$27-403 (RR DISTRICT)	125 FT	242 FT
		\$27-503 & 403 (BOTH DISTRICTS)	30%	28.9% (LOT 26: 5,000 SF/17,310 SF)
3	MAXIMUM LOT COVERAGE	\$27-503 & 403 (BOTH DISTRICTS)		
4	MINIMUM FRONT YARD	\$27-503 & 403 (BOTH DISTRICTS)	40 FT	40 FT
5	MINIMUM SIDE YARD	\$27-503 & 403 (BOTH DISTRICTS)	15 FT (EACH SIDE)	15 FT
6	MINIMUM REAR YARD	\$27-503 & 403 (BOTH DISTRICTS)	25 FT	46 FT
7	MAXIMUM BUILDING HEIGHT	\$27-503 & 403 (BOTH DISTRICTS)	2.5 STORIES OR 35 FT	TBD, WILL COMPLY

OFF-STREET PARKING REQUIREMENTS

#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM PARKING SPACE SIZE	\$27-1402	10 FT W X 20 FT L	COMPLIES
2	MINIMUM FRONT PARKING SETBACK	\$27-1404, G.(1)	25 FT FROM R/W LINES, HOWEVER, UP TO 50% OF THE REQ'D. FRONT YARD MAY BE UTILIZED FOR PARKING	COMPLIES
3	MINIMUM SIDE/REAR PARKING SETBACK	\$27-1404, G.(2)	10 FT FROM PROPERTY LINES	COMPLIES
4	MINIMUM # OF PARKING SPACES PER DWELLING UNIT	\$27-1405, E	2 OFF-STREET SPACES, BUT NEED NOT BE IMPROVED W/ HARD SURFACE	2 OFF-STREET SPACES / DU (DRIVEWAYS)

1) OFF-STREET PARKING SPACES SHALL BE DESIGNED SO THAT VEHICLES MAY HAVE ACCESS TO AND FROM SPACES WITHOUT MOVING ANOTHER VEHICLE

SUPPLEMENTAL REGULATIONS

#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM LOCAL STREET R/W WIDTH	\$21 - EXHBIT A-1	90 FT	90 FT
2	MINIMUM LOCAL STREET CARTWAY WIDTH	\$21 - EXHBIT A-1	34 FT	34 FT
3	MINIMUM LOCAL STREET VERTICAL GRADE	\$21 - EXHBIT A-1	10% MAX. & 0.75% MIN.	8% MAX. & 0.75% MIN.
4	MINIMUM LOCAL STREET HORIZONTAL CURVE	\$21 - EXHBIT A-1	150 FT	150 FT
5	MINIMUM REVERSE CURVE TANGENT	\$21 - EXHBIT A-1	50 FT	601 FT
6	MINIMUM SIGHT DISTANCE	\$21 - EXHBIT A-1	150 FT	MEETS MINIMUM - REFER TO SITE PLAN
7	MINIMUM STREET INTERSECTION SEPARATION	\$21-513.4 A.(3)	150 FT BETWEEN LOCAL STREETS	> 250 FT
8	MINIMUM STREET CURB INTERSECTION RADI	\$21-513.4 A.(4)	30 FT ALONG MAJOR STREETS (GRACE AVENUE)	30 FT ALONG GRACE AVENUE
9	MINIMUM DRIVEWAY RADI (MINIMUM USE DRIVEWAY < 45 MPH)	\$21-608.1	15 FT MAX. & 5 FT MIN.	15 FT MAX. & 5 FT. MIN. - REFER TO SITE PLAN

SITE DATA

GROSS TRACT AREA:	35.56 AC. (PERRY) + 3.19 AC. (RODILLA) = 38.75 AC. TOTAL
NET TRACT AREA (NO STREET R/W):	35.08 AC. (PERRY) + 3.09 AC. (RODILLA) = 38.17 AC. TOTAL
EXISTING NUMBER OF DWELLING UNITS:	2 EXISTING DWELLING UNITS TO REMAIN
PROPOSED NUMBER OF DWELLING UNITS:	28 PROPOSED DWELLING UNITS
EXISTING NUMBER OF LOTS:	2 EXISTING LOTS TO BE SUBDIVIDED
PROPOSED NUMBER OF SUBDIVIDED LOTS:	30 LOTS
PROPOSED DENSITY*:	30 DWELLING UNITS / 32.53 ACRES = 0.92 UNITS / ACRE
WATER SERVICE:	PUBLIC
SANITARY SEWER SERVICE:	PUBLIC
RIGHT-OF-WAY TO BE DEDICATED:	89,681 SF / 2.06 AC.
* PROPOSED DENSITY SHALL BE CALCULATED W/ NET LOT AREAS - REFER TO "LOT AREAS" TABLE ON THE SUBDIVISION PLAN SHEET FOR THE NET AREA CALCULATIONS.	

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH NORTH LEBANON TOWNSHIP STANDARDS AND SPECIFICATIONS, LEBANON COUNTY STANDARDS AND SPECIFICATIONS, PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
- THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA 811 72 HOURS BEFORE COMMENCEMENT OF WORK AT PA (800) 242-1178 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- IF PLANS AND SPECIFICATIONS ARE IN CONFLICT, THE MOST STRINGENT SHALL APPLY.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM LEBANON COUNTY AND NORTH LEBANON TOWNSHIP ALL CONSTRUCTION PERMITS, INCLUDING ANY PENNDOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND NORTH LEBANON TOWNSHIP.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SEWER. CONNECTION TO PUBLIC SANITARY SEWER IS REQUIRED.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY VORTEX ENVIRONMENTAL MAPPING.
- ALL CONSTRUCTION WITHIN A PENNDOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO §420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.
 1. PLAN APPROVAL BY THE TOWNSHIP DOES NOT GUARANTEE THAT A PENNDOT PERMIT WILL BE ISSUED.
- THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR ANY ATTORNEY FEES WHERE THE ATTORNEY IS ENGAGED ON BEHALF OF THE TOWNSHIP/AUTHORITY RELATING TO THE REVIEW OF THE SUBDIVISION PLANS OR LAND DEVELOPMENT PLANS THAT ARE SUBMITTED TO THE TOWNSHIP/AUTHORITY. THESE FEES ARE IN ADDITION TO SUBMISSION FEES CHARGED BY THE TOWNSHIP AND AUTHORITY. PAYMENT OF ALL INVOICES IS DUE AND PAYABLE WITHIN 30 DAYS OF RECEIPT BUT IN ALL CASES PRIOR TO PLAN APPROVAL BY THE BOARD OF SUPERVISORS. ANY QUESTIONS ON INVOICES MUST BE REPORTED TO THE TOWNSHIP/AUTHORITY IN WRITING WITHIN 10 DAYS OF RECEIPT OF THE BILL.
- A STREET CUT PERMIT WILL BE REQUIRED FROM NORTH LEBANON TOWNSHIP FOR THE CONNECTION TO THE SANITARY SEWER / PUBLIC WATER / NEW STREET / STORMWATER / ETC. FINANCIAL SECURITY IS REQUIRED TO GUARANTEE PROPER RESTORATION OF ALL EXISTING TOWNSHIP STREETS AS PART OF THE STREET CUT PERMIT. SUCH FINANCIAL SECURITY SHALL BE INCLUDED AS A LINE ITEM WITH FINANCIAL SECURITY FOR THE OVERALL DEVELOPMENT.
- A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER AND ROADMASTER IS REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- REFER TO THE DECLARATION OF COVENANTS AND RESTRICTIONS, RECORDED ON 03/06/2023 (UPI NO. 27-2331984-381362-0000, INSTRUMENT #202302197) FOR EXISTING COVENANTS AND/OR RESTRICTIONS THAT RUN WITH THE LAND.
- APPROVAL OF A RESIDENTIAL BUILDING PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE PROPOSED RETAINING WALL ALONG MANOR VIEW DRIVE.

CITY OF LEBANON AUTHORITY WATER NOTES

- CONTACT INFORMATION FOR THE CITY OF LEBANON AUTHORITY
CITY OF LEBANON AUTHORITY, 2211 RIDGEVIEW ROAD, LEBANON, PA 17042
BOB SENTZ, BSSENTZ@LEBANONAUTHORITY.ORG, 717-272-2841
- WATER SYSTEMS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CURRENT CITY OF LEBANON AUTHORITY "GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION".
- THE CONSTRUCTION OF WATER MAINS REQUIRES A WATER MAIN EXTENSION AGREEMENT BETWEEN THE DEVELOPER AND THE AUTHORITY.
- EXISTING WATER MAINS ARE SHOWN AT AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE ACTUAL LOCATIONS AND VERIFY WATER MAIN SIZES AND DEPTHS AT UTILITY CROSSINGS, EXCAVATED AREAS, AND TIE-IN LOCATIONS.
- WATER SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE WATER TAPS.
- FIRE SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE FIRE LINE TAP. FIRE LINE AGREEMENT ALSO REQUIRED.
- ANY WORK WITHIN PENNDOT RIGHT-OF-WAY REQUIRES A PENNDOT HIGHWAY OCCUPANCY PERMIT (HOP). THE PERMIT TYPICALLY IS REQUIRED TO BE IN THE AUTHORITY'S NAME AND THE AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE A FINANCIAL GUARANTEE UNTIL PENNDOT SIGNS OFF ON THE PERMIT AFTER CONSTRUCTION IS COMPLETE.
- ANY WORK WITHIN MUNICIPAL RIGHT-OF-WAYS MIGHT REQUIRE A MUNICIPAL PERMIT. THE PERMIT SHALL BE ACQUIRED IN THE CONTRACTOR'S NAME.
- THE AUTHORITY SHALL APPROVE ALL MATERIALS PRIOR TO CONSTRUCTION.
- A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE AUTHORITY AND WATERLINE CONSTRUCTION CONTRACTOR.
- THE CITY OF LEBANON AUTHORITY WILL INSPECT THE WATER MAIN INSTALLATION AND ASSIST IN COORDINATING TESTING. THERE ARE FEES CHARGED TO THE DEVELOPER / CONTRACTOR FOR INSPECTION SERVICES. WATER MAIN CONSTRUCTION AND FEES SHALL BE COORDINATED WITH THE AUTHORITY.
- THE PROPERTY OWNER / DEVELOPER SHALL INSTALL THE WATER TAP AND SERVICE LINE TO THE CURB STOP UNDER THE INSPECTION OF THE CITY OF LEBANON AUTHORITY. THE PROPERTY OWNER IS RESPONSIBLE FOR THE WATER SERVICE AFTER THE CURB STOP. THE CITY OF LEBANON AUTHORITY WILL INSTALL THE WATER METER WITHIN THE BUILDING OR AN APPROVED METER PIT AS INSTRUCTED. CONTACT THE CITY OF LEBANON AUTHORITY METER DEPARTMENT FOR METER INSTALLATION, 2200 WEST CHESTNUT STREET, 717-273-2606.
- METER PIT INSTALLATIONS ARE MANDATORY. ANY EXCEPTION TO METER PIT INSTALLATION IS AT THE DISCRETION OF THE CITY OF LEBANON AUTHORITY. METER PIT TO BE INSTALLED WITHIN 10-FEET OF THE CURB STOP. METER PITS SHALL BE APPROVED BY THE METER DEPARTMENT PRIOR TO INSTALLATION.
- SEWER AND WATER MAINS SHALL HAVE A MINIMUM OF AN 18-INCH SEPARATION, OR THE SEWER MAIN SHALL BE CONCRETE ENCASED IN THE AREA WHERE THE 18-INCH SEPARATION CANNOT BE MAINTAINED.
- WATER MAINS AND LATERALS THAT ARE LESS THAN 18-INCHES FROM A STORM SEWER OR CULVERT SHALL BE INSULATED WITH A FOAM WRAP.
- AT THE CONCLUSION OF THE INSTALLATION OF THE WATER SYSTEM AND SERVICE LINES, AND SUCCESSFUL TESTING THEREOF, THE WATER SYSTEM WILL BE OFFERED FOR DEDICATION TO THE CITY OF LEBANON AUTHORITY.
- ALL EXISTING WATER SERVICE TERMINATIONS SHALL BE AT THE WATER MAIN BY TURNING OFF THE CORPORATION STOP AT THE MAIN AND THE SERVICE LINES CUT AND CRIMPED WITHIN ONE FOOT OF THE CORPORATION STOP. ALL WORK, INCLUDING SAW CUTTING, EXCAVATION, LATERAL TERMINATION, BACKFILL, AND PAVING, SHALL BE DONE BY THE CONTRACTOR AND INSPECTED BY THE CITY OF LEBANON AUTHORITY.

ROADWAY COMPACTION NOTES

- SUBGRADE, COMPACT SUBGRADE TO NOT LESS THAN 100% OF THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY. THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY SHOULD BE DETERMINED BY THE PENNSYLVANIA TEST METHOD (PTM) NO. 106 - METHOD B, PTM NO. 112, OR PTM NO. 402 FOR EACH 3,000 SQUARE YARDS OR LESS OF COMPLETED SUBGRADE. WHEN THE MATERIAL IS TOO COARSE (MORE THAN 20% RETAINED ON A 3/4-INCH SIEVE) TO UTILIZE THE PTM METHODS, COMPACTION SHOULD BE DETERMINED BASED ON THE NONMOVEMENT OF THE SUBGRADE MATERIAL UNDER THE COMPACTION EQUIPMENT. WHEN COMPACTING, THE SUBGRADE'S MOISTURE CONTENT SHOULD BE MAINTAINED TO NOT MORE THAN 2% ABOVE OPTIMUM MOISTURE FOR THE MATERIAL. WHEN THE SPECIFIED COMPACTION CANNOT BE OBTAINED, THE SUBGRADE MATERIAL SHALL BE EXCAVATED TO A DEPTH THAT WHEN REPLACED AND RECOMPACTED AT MOISTURE CONTENT NOT EXCEEDING OPTIMUM, THE SUBGRADE SHALL HAVE REQUIRED COMPACTION. IMMEDIATELY PRIOR TO THE PLACEMENT OF THE ROADWAYS STONE SUBBASE, THE SUBGRADE SHALL BE RECOMPACTED AND RESHAPED TO PROVIDE THE REQUIRED ROADWAY SUBGRADE COMPACTION AND ELEVATION. INSPECTION IS REQUIRED AT THE COMPLETION OF THE SUBGRADE COMPACTION BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- SUBBASE, SUBBASE MATERIAL SHALL CONSIST OF TYPE C OR BETTER, NO. 2A AND NO. 3 AGGREGATES AS SPECIFIED IN THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 703.2. COMPACT THE UNIFORMLY SPREAD SUBBASE MATERIAL TO NOT LESS THAN 100% OF THE MAXIMUM DRY-MASS (DRY-WEIGHT) DENSITY. THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY SHOULD BE DETERMINED BY THE PENNSYLVANIA TEST METHOD (PTM) NO. 106 - METHOD B, PTM NO. 112, OR PTM NO. 402 FOR EACH 3,000 SQUARE YARDS OR LESS OF COMPLETED SUBBASE. WHEN THE MATERIAL IS TOO COARSE (MORE THAN 20% RETAINED ON A 3/4-INCH SIEVE) TO UTILIZE THE PTM METHODS, COMPACTION SHOULD BE DETERMINED BASED ON THE NONMOVEMENT OF THE SUBBASE MATERIAL UNDER THE COMPACTION EQUIPMENT. COMPACTION OF THE SUBBASE SHALL BE INSTALLED IN MAXIMUM FOUR-INCH LAYERS OF NO. 2A OR A MAXIMUM FIVE-INCH LAYER OF NO. 3 (COMPACTED THICKNESS), UNTIL THE TOTAL REQUIRED SUBBASE THICKNESS IS ACHIEVED. COMPACTION SHALL PROCEED GRADUALLY FROM SIDES TO CENTER, WITH THE SUCCEEDING PASS UNIFORMLY OVERLAPPING THE PREVIOUS PASS, WHICH SHALL CONTINUE UNTIL THE SUBBASE IS PROPERLY COMPACTED AND SHAPED. IF THE SUBBASE MATERIAL DOES NOT CONTAIN SUFFICIENT MOISTURE AFTER PLACEMENT, ADD WATER TO OBTAIN THE PROPER COMPACTION. IMMEDIATELY PRIOR TO THE PLACEMENT OF THE ROADWAY PAVEMENT, THE SUBBASE SHALL BE RECOMPACTED AND RESHAPED TO PROVIDE THE REQUIRED ROADWAY SUBBASE COMPACTION AND ELEVATION. INSPECTION IS REQUIRED AT THE COMPLETION OF THE SUBBASE COMPACTION BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- PLANT MIXED BITUMINOUS CONCRETE COURSES - WEATHER LIMITATIONS: DO NOT PLACE BITUMINOUS PAVING MIXTURES BETWEEN OCTOBER 31 AND APRIL 1 FOR BASE COURSE PAVEMENT AND STANDARD WEARING COURSE PAVEMENT, UNLESS OTHERWISE PERMITTED IN WRITING BY AUTHORIZED TOWNSHIP PERSONNEL. DO NOT PLACE SUPER PAVE WEARING COURSES FROM OCTOBER 16 TO APRIL 1 UNLESS OTHERWISE PERMITTED IN WRITING BY AUTHORIZED TOWNSHIP PERSONNEL. DO NOT PLACE BITUMINOUS PAVING MIXTURES WHEN SURFACES ARE WET OR WHEN THE TEMPERATURE OF EITHER THE AIR OR THE SURFACE ON WHICH THE MIXTURE IS TO PLACE IS 40° F. (4° C) OR LOWER. WHEN WORK IS HALTED BECAUSE OF WEATHER CONDITIONS, LIMITED QUANTITIES EN ROUTE TO THE PROJECT MAY BE PLACED, IF PERMITTED BY THE TOWNSHIP ROAD FOREMAN.
- BASE COURSE PAVEMENT: BASE COURSE PAVING MATERIAL SHALL CONFORM TO LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 409.2 AND SECTION 421.2. BASE COURSE PAVING SHALL CONFORM TO THE ABOVE-MENTIONED WEATHER LIMITATIONS. THE BASE COURSE PAVEMENT SHALL BE INSTALLED IN A MAXIMUM OF TWO-INCH ROLLED LAYERS, UNTIL THE TOTAL REQUIRED BASE COURSE DEPTH IS ACHIEVED. NINETY PERCENT OF ALL THE LOTS MUST BE DEVELOPED AND A MINIMUM OF ONE YEAR MUST ELAPSE FROM THE INSTALLATION OF THE BASE COURSE PAVING PRIOR TO THE INSTALLATION OF THE WEARING COURSE. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP. AFTER INSTALLATION OF BASE COURSE, NO STREET CUTS CAN BE MADE BY THE DEVELOPER WITHOUT THE PERMISSION OF NORTH LEBANON TOWNSHIP ROAD FOREMAN OR SUPERVISORS. A STREET CUT PERMIT IS REQUIRED. THE ROAD FOREMAN, OR DESIGNATED AGENT, MUST BE PRESENT DURING ANY PERMITTED CUTS FOR PROPER RESTORATION. ANY CUTS MADE WITHOUT AUTHORIZATION BY THE TOWNSHIP WILL BE REQUIRED TO BE REDUG AT THE DEVELOPER'S EXPENSE. SO VERIFICATION CAN BE MADE ON PROPER RESTORATION.
- BITUMINOUS TACK COAT: PRIOR TO THE PLACEMENT OF THE WEARING COURSE, THE BASE COURSE SHALL BE CONDITIONED AND TREATED WITH THE APPLICATION OF A BITUMINOUS BONDING MATERIAL CONFORMING TO THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 460. APPLY THE EMULSIFIED ASPHALT TACK COAT AT A RATE TO LEAVE A UNIFORM ASPHALT RESIDUE FROM 0.02 TO 0.07 GALLONS PER SQUARE YARD, OR AS APPROVED BY THE TOWNSHIP ROAD FOREMAN. APPLY THE TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 4° C. (40° F.) AND RISING. DO NOT APPLY TO A WET SURFACE, OR DURING WET WEATHER. FOLLOWING APPLICATION AND PRIOR TO SUCCEEDING CONSTRUCTION, ALLOW THE TACK COAT TO CURE WITHOUT BEING DISTURBED, UNTIL THE WATER HAS COMPLETELY SEPARATED AND EVAPORATED, AS DETERMINED BY THE TOWNSHIP ROAD FOREMAN. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- WEARING COURSE PAVEMENT: NINETY PERCENT OF ALL THE LOTS MUST BE DEVELOPED AND A MINIMUM OF ONE YEAR MUST ELAPSE FROM THE INSTALLATION OF THE BASE COURSE PAVEMENT PRIOR TO THE INSTALLATION OF THE WEARING COURSE. WEARING COURSE PAVING MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 409.2 AND SECTION 420.2. WEARING COURSE PAVING SHALL CONFORM TO THE ABOVE-MENTIONED WEATHER LIMITATIONS. PRIOR TO THE PLACEMENT OF THE WEARING COURSE PAVING, ALL DEFICIENCIES IN THE BASE COURSE PAVING MUST BE REPAIRED. PRIOR TO THE PLACEMENT OF THE WEARING COURSE A BITUMINOUS TACK COAT SHALL BE APPLIED TO THE BASE COURSE PAVEMENT. WEARING COURSE PAVING SHALL NOT BE COMPLETED IF IT WILL BE SUBJECTED TO HIGH TEMPERATURES OR CHANNELIZED TRAFFIC FOR EXTENDED PERIODS OF TIME. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.

ANTICIPATED SCHEDULE

BEGINNING OF CONSTRUCTION: FALL 2025
END OF CONSTRUCTION: FALL 2027



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	ALK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

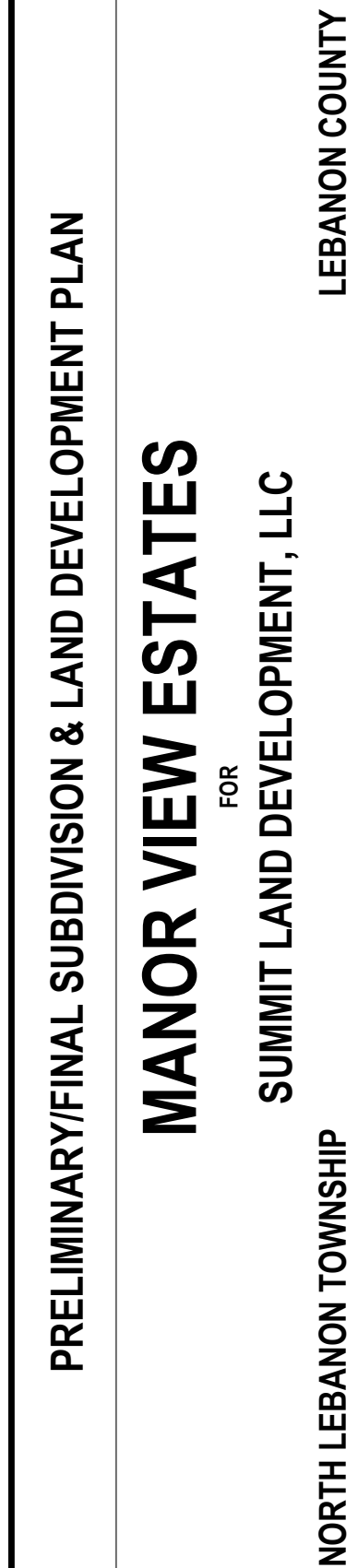
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01 - LD COVERSHEET

REVISIONS		DESCRIPTION	DATE
1		REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS	11/09/2023
2		REVISED PER TWP. ENG., AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS	01/23/2024
3		REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS	03/05/2024
4		REVISED PER TWP. ENGINEER REVIEW COMMENTS	03/25/2024
5		REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS	05/10/2024
6		REVISED PER HOP SUBMISSION	06/05/2024
7		REVISED PER TWP. ENGINEER REVIEW	07/14/2025
8		REVISED PER RETAINING WALL DESIGN (BY OTHERS)	07/14/2025
9		ISSUED FOR RECORDING	08/14/2025

TITLE
NOTES

SHEET NO.

02 of 39



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH IERANON TOWNSHIP

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

02 - EXISTING CONDITIONS

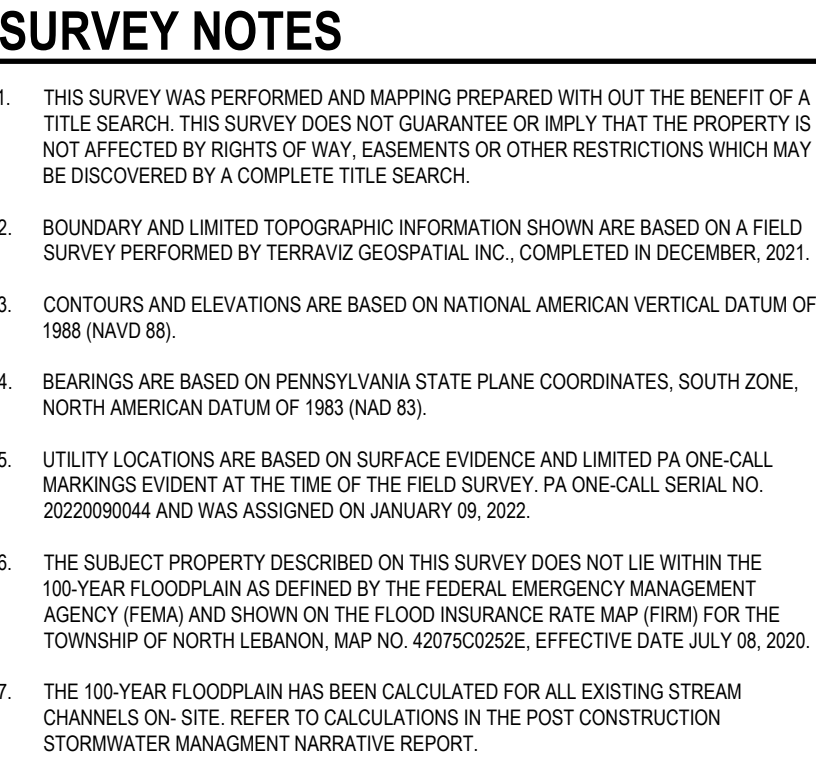
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NO.	DATE		
1	01/23/2024	REVISED PER TWP ENGINEER AUTHORITY REVIEW & COUNTY REVIEW COMMENTS	
2	02/26/2024	REVISED PER TWP ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS	
3	03/05/2024	REVISED PER WATER AUTHORITY REVIEW COMMENTS	
4	03/25/2024	REVISED PER TWP ENGINEER REVIEW COMMENTS	
5	04/15/2024	REVISED PER TWP ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS	
6	06/05/2024	REVISED PER TWP SUBMISSION	
7	09/13/2024	REVISED PER TWP ENGINEER REVIEW	
8	09/13/2024	REVISED PER TWP ENGINEER REVIEW	
9	09/15/2025	SUED FOR RECORDS	

TITLE

**EXISTING
CONDITIONS
PLAN - OVERALL**

SHEET NO.

03 of 39



SURVEY NOTES

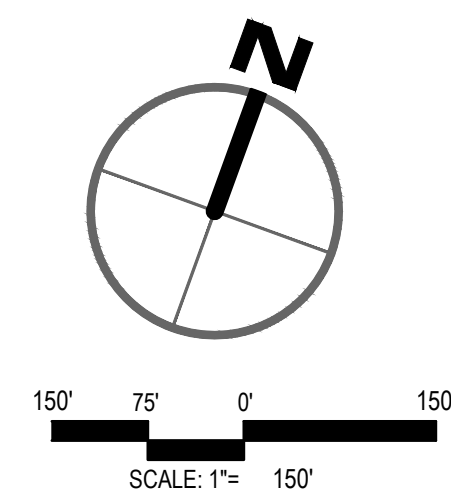
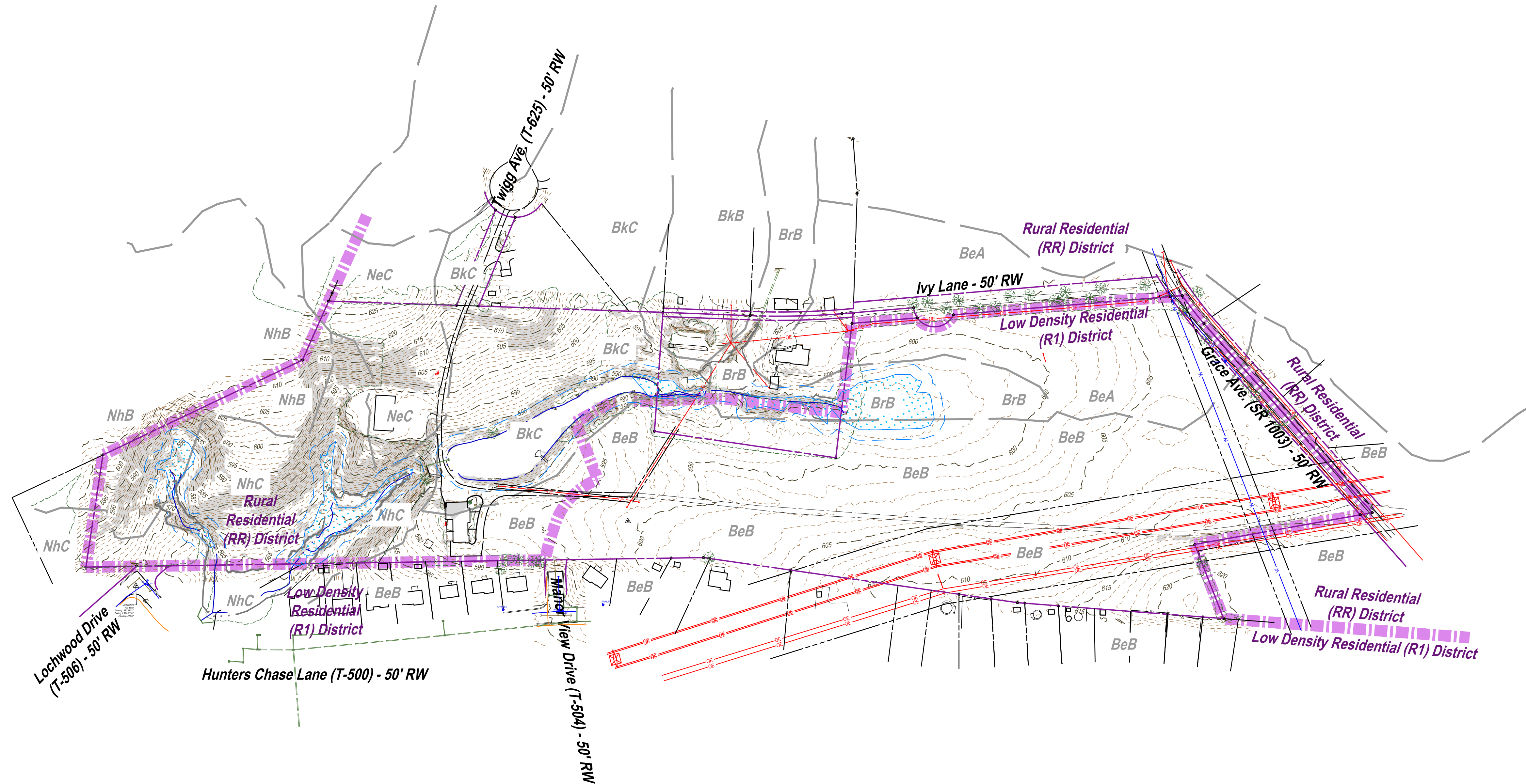
1. THIS SURVEY WAS PERFORMED AND MAPPING PERFORMED WITH OUT THE BENEFIT OF A FIELD SEARCH. THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS OF WAY, EASEMENTS OR OTHER RESTRICTIONS WHICH MAY BE DISCOVERED BY A COMPLETE TITLE SEARCH.
 2. BOUNDARY AND LIMITED TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY TERRAZZO GEOSPATIAL INC., COMPLETED IN DECEMBER, 2021.
 3. CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAD 83).
 4. BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 5. UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL WARNINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 2022009004 AND WAS ASSIGNED ON JANUARY 09, 2022.
 6. THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF NORTH LEBANON, MAP NO. 4207052025E, EFFECTIVE DATE JULY 08, 2020.
- THE 100 YEAR FLOODPLAIN HAS BEEN CALCULATED FOR ALL EXISTING STREAM CHANNELS ON-SITE. REFER TO CALCULATIONS IN THE POST CONSTRUCTION STORMWATER MANAGEMENT NARRATIVE REPORT.

SOILS INFORMATION

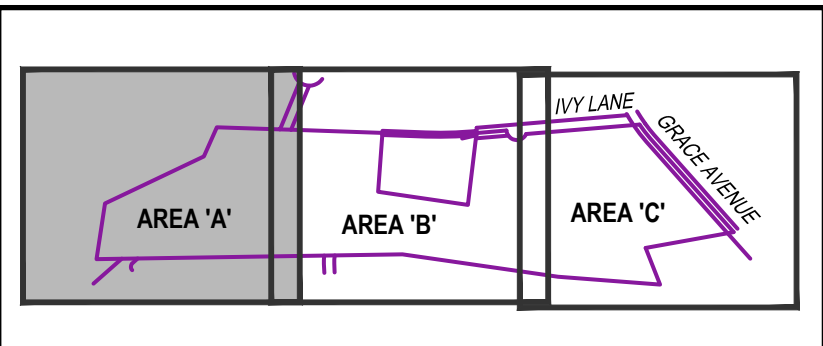
BeA	BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
BeB	BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
BkC	BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
BrB	BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC

GEOLOGY INFORMATION

Oh HAMBURG SEQUENCE ROCKS



Hunters Chase Lane
(T-500) - 50' RW



KEY MAP

NOT TO SCALE

LEGEND

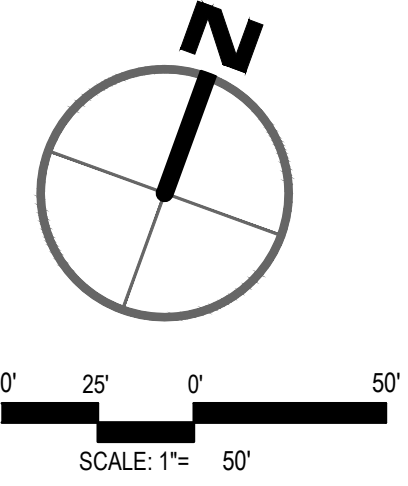
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING TRACT LINE
- EXISTING ADJOINER LINE
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING PROPERTY CORNER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING LIDAR CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING GAS LINE
- EXISTING WATER HYDRANT
- EXISTING WATERLINE
- EXISTING WATERVALVE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING INLET STRUCTURE
- EXISTING STORM PIPE
- EXISTING SIGN
- EXISTING EDGE OF MACADAM
- EXISTING STRIPING
- EXISTING EDGE OF CONCRETE
- EXISTING CURB
- EXISTING FENCE
- EXISTING TREE LINE
- EXISTING TREE OR SHRUB
- EXISTING TOWNSHIP MONUMENT OR BENCHMARK
- EXISTING STREAM
- EXISTING WETLANDS
- EXISTING WETLAND FLAG
- 25' WIDE RIPARIAN BUFFER
- SOIL TYPE BOUNDARY LINE
- SOIL OR GEOLOGY TYPE
- ZONING BOUNDARY
- EXISTING STEEP SLOPES >15%
- CALCULATED 100 YEAR FLOODPLAIN
- STREAM CHANNEL
- CROSS SECTION LOCATION

SOILS INFORMATION

- BeA** BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
- BeB** BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
- BkC** BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
- BrB** BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC

GEOLOGY INFORMATION

- Oh** HAMBURG SEQUENCE ROCKS



INSET MAP

SCALE: 1"=50'

Low Density Residential (R1) District
Rural Residential (RR) District

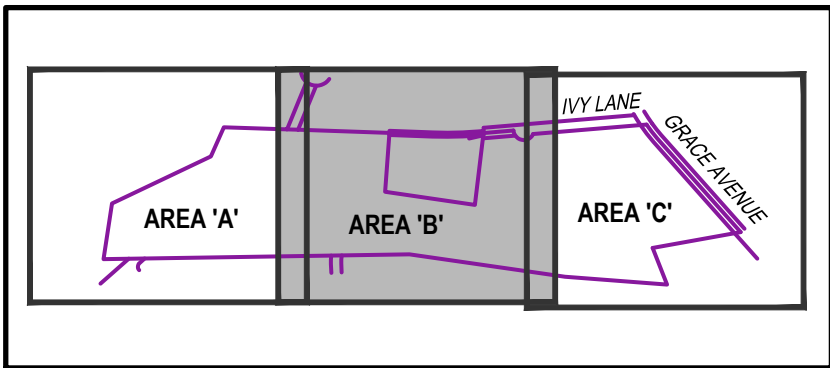
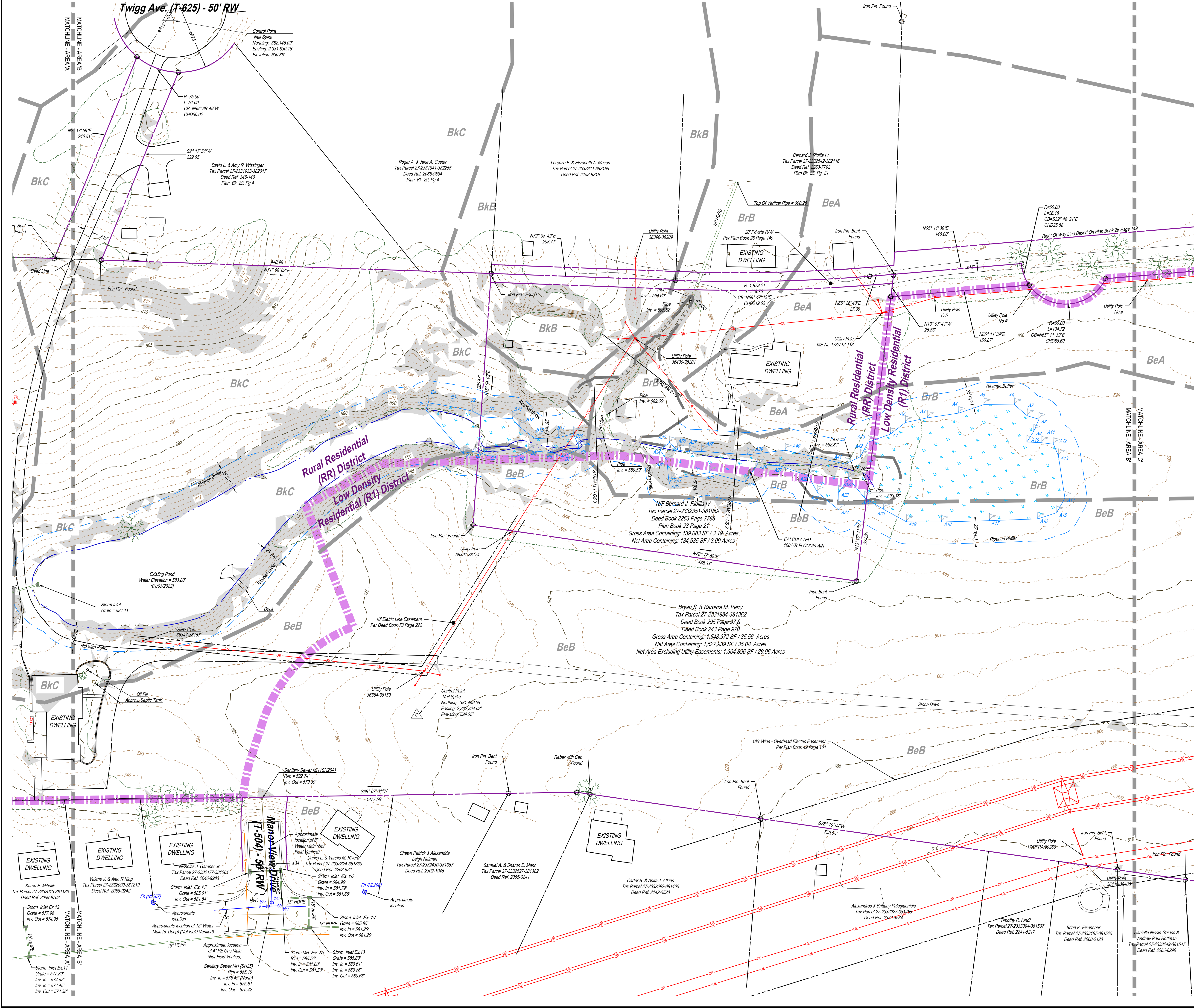
Rural Residential (RR) District
Low Density Residential (R1) District

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	02 - EXISTING CONDITIONS

REVISIONS	
NO.	DESCRIPTION
1	1/10/2023 REUSED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024 REUSED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024 REUSED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/25/2024 REUSED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024 REUSED PER TWP. ENGINEER REVIEW COMMENTS
6	06/05/2024 REUSED PER HDP SUBMISSION
7	06/05/2024 REUSED PER TWP. ENGINEER REVIEW
8	07/14/2025 REUSED PER RETAINING WALL DESIGN (BY OTHERS)
9	08/15/2025 ISSUED FOR RECORDING

TITLE
EXISTING
CONDITIONS
PLAN - AREA 'A'

IMAGES, DETAILS, C-LOGS, ETC. ARE THE PROPERTY OF INTEGRATED PARTNERS, LLC. IF ANY PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF INTEGRATED PARTNERS, LLC, IT IS PROHIBITED. THIS DRAWING IS THE PROPERTY OF INTEGRATED PARTNERS, LLC. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF INTEGRATED PARTNERS, LLC.



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJOINER LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING PROPERTY CORNER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING LIDAR CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING GAS LINE
	EXISTING WATER HYDRANT
	EXISTING GAS LINE
	EXISTING WATERLINE
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
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	EXISTING SIGN
	EXISTING EDGE OF MACADAM
	EXISTING STRIPING
	EXISTING EDGE OF CONCRETE
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	EXISTING FENCE
	EXISTING TREE LINE
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	EXISTING TOWNSHIP MONUMENT OR BENCHMARK
	EXISTING STREAM
	EXISTING WETLANDS
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	25' WIDE RIPARIAN BUFFER
	SOIL TYPE BOUNDARY LINE
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	EXISTING STEEP SLOPES >15%
	CALCULATED 100-YR FLOODPLAIN
	STREAM CHANNEL
	CROSS SECTION LOCATION

SOILS INFORMATION	
BeA	BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
BeB	BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
BkC	BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
BrB	BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC

GEOLOGY INFORMATION	
Oh	HAMBURG SEQUENCE ROCKS

REVISIONS	
NO.	DESCRIPTION
1	1/10/2023 REISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	1/10/2023 REISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024 REISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/05/2024 REISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024 REISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024 REISED PER HDP SUBMISSION
7	07/14/2025 REISED PER RETAINING WALL DESIGN (BY OTHERS)
8	07/14/2025 REISED PER RECORDING
9	08/15/2025 ISSUED FOR RECORDING

TITLE	
EXISTING CONDITIONS PLAN - AREA 'B'	
SHEET NO.	
05 of 39	

INTEGRATED CONSULTING

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WORMLEYSBURG, PA 17043
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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

FOR

MANOR VIEW ESTATES

SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	02 - EXISTING CONDITIONS

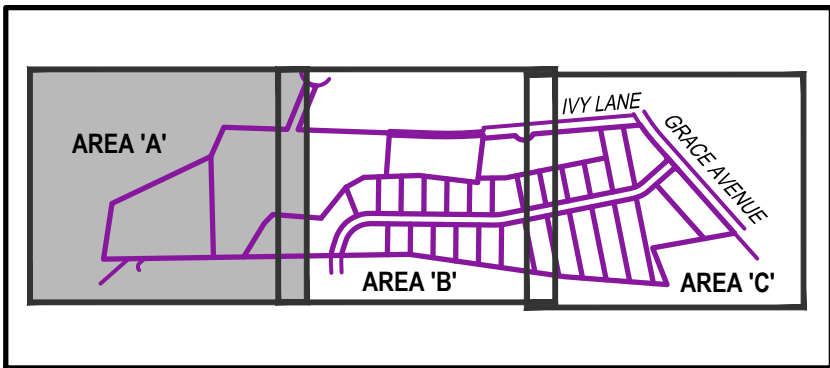
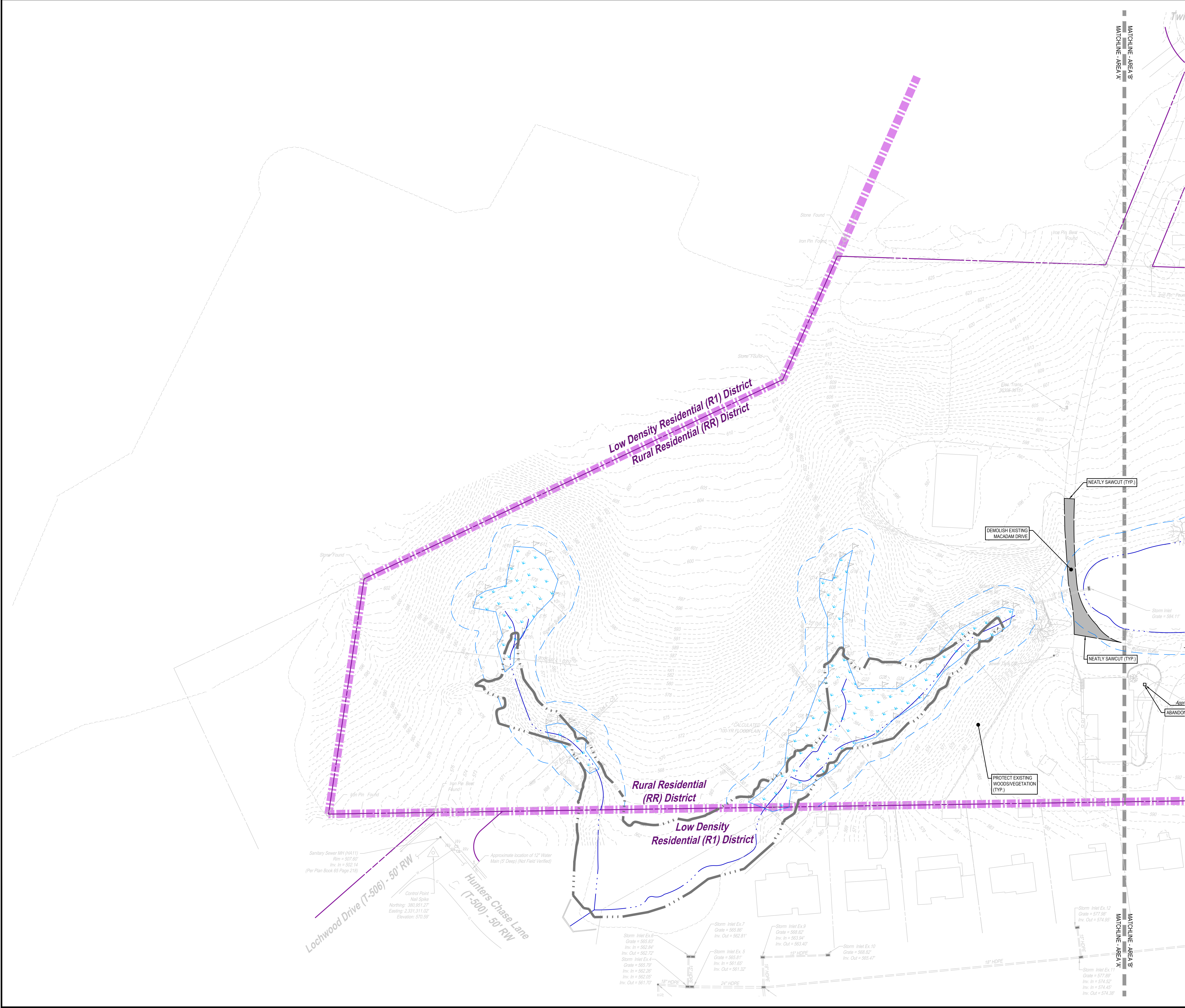
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7	07/14/2025	REISED PER RETAINING WALL DESIGN (BY OTHERS)
8	07/14/2025	REISED PER RECORDING
9	08/15/2025	ISSUED FOR RECORDING

TITLE	
EXISTING CONDITIONS PLAN - AREA 'B'	
SHEET NO.	
05 of 39	

SCALE: 1"= 50'

50' 25' 0' 50'

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- LEGEND**
- DEMOLISH MACADAM, STONE, OR CONCRETE
 - DEMOLISH WOODS/VEGETATION
 - PROPOSED SAW CUT LINE
 - NOTES A FEATURE TO BE DEMOLISHED
 - NOTES A FEATURE TO BE REMOVED AND RELOCATED

- DEMOLITION PLAN NOTES**
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
 - REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
 - THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
 - THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
 - THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
 - THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
 - BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
 - THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.

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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

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SCALE	AS NOTED
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PROJECT NO.	21-0192

CAD FILE:
03 - DEMOLITION PLAN

REV	NO.	DATE	DESCRIPTION
1	1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	2	01/23/2024	REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	3	03/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	5	05/10/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	6	06/03/2024	REVISED PER HDP SUBMISSION
7	7	07/14/2025	REVISED PER TWP. ENGINEER REVIEW
8	8	07/14/2025	REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	9	08/14/2025	ISSUED FOR RECORDING

TITLE

DEMOLITION PLAN - AREA 'A'

SHEET NO.

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LEBANON COUNTY

MANOR VIEW ESTATES

SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

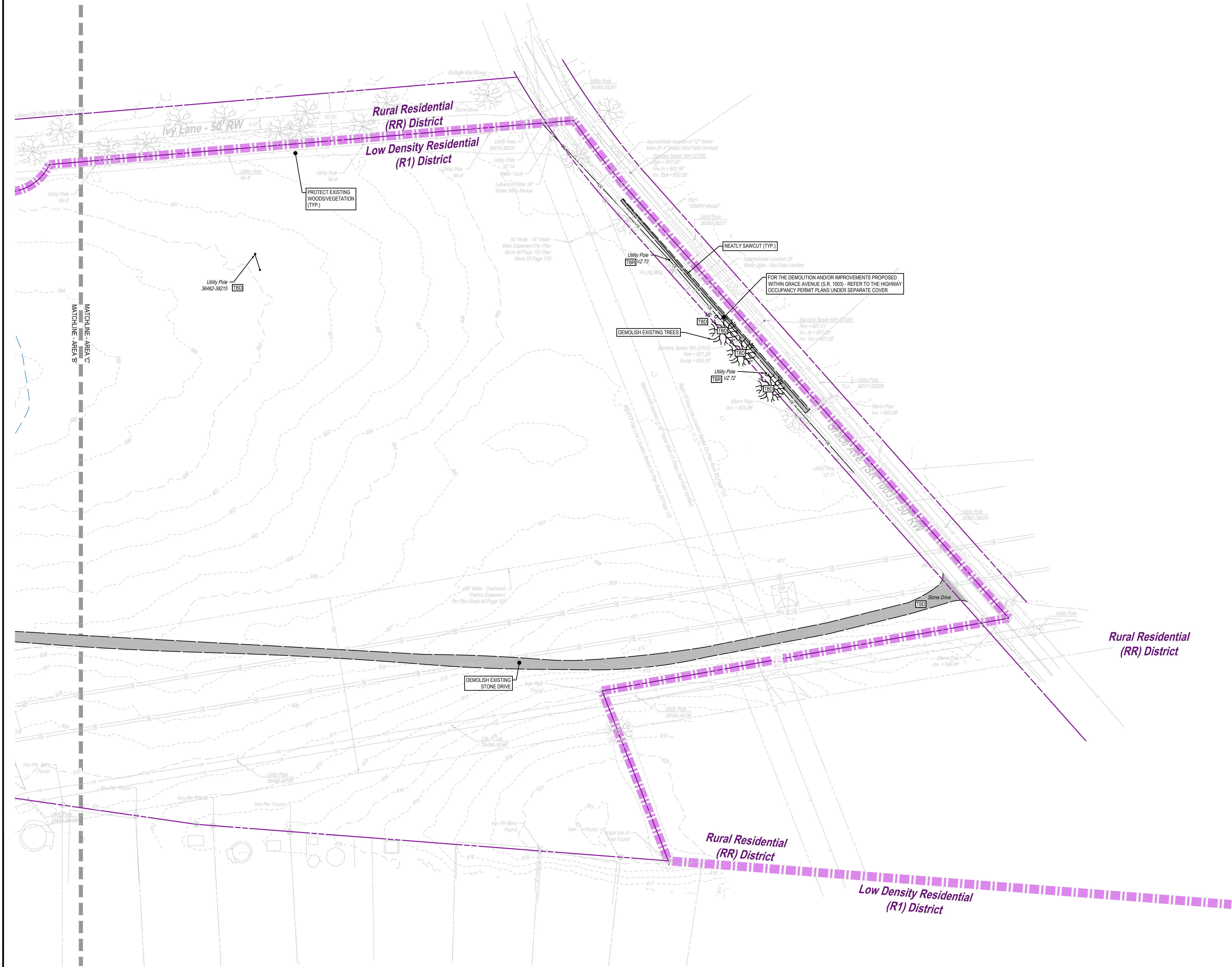
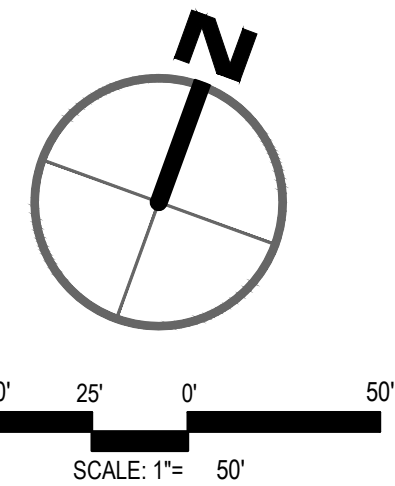
PROFESSIONAL SEAL

AD FILE:
3 - DEMOLITION PLAN

NO.	DESCRIPTION	REVIEW COMMENTS
1	11/09/2024	REVISED PER TWP ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	02/23/2024	REVISED PER TWP ENG., AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	02/26/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	02/26/2024	REVISED PER TWP ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024	REVISED PER H2P SUBMISSION
7	08/02/2024	REVISED PER TWP ENGINEER REVIEW
8	07/14/2025	REVISED PER RETAINING WALL (DESIGN BY OTHERS)
9	09/15/2025	ISSUED FOR RECORDING

SHEET NO.

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STREET ADDRESSES

LOT #	STREET ADDRESS
1	1424 MANOR VIEW DRIVE, LEBANON, PA 17046
2	1422 MANOR VIEW DRIVE, LEBANON, PA 17046
3	1420 MANOR VIEW DRIVE, LEBANON, PA 17046
4	1418 MANOR VIEW DRIVE, LEBANON, PA 17046
5	1416 MANOR VIEW DRIVE, LEBANON, PA 17046
6	1414 MANOR VIEW DRIVE, LEBANON, PA 17046
7	1412 MANOR VIEW DRIVE, LEBANON, PA 17046
8	1410 MANOR VIEW DRIVE, LEBANON, PA 17046
9	1408 MANOR VIEW DRIVE, LEBANON, PA 17046
10	1406 MANOR VIEW DRIVE, LEBANON, PA 17046
11	1404 MANOR VIEW DRIVE, LEBANON, PA 17046
12	1402 MANOR VIEW DRIVE, LEBANON, PA 17046
13	1400 MANOR VIEW DRIVE, LEBANON, PA 17046
14	1401 MANOR VIEW DRIVE, LEBANON, PA 17046
15	1403 MANOR VIEW DRIVE, LEBANON, PA 17046
16	1405 MANOR VIEW DRIVE, LEBANON, PA 17046
17	1407 MANOR VIEW DRIVE, LEBANON, PA 17046
18	1409 MANOR VIEW DRIVE, LEBANON, PA 17046
19	1411 MANOR VIEW DRIVE, LEBANON, PA 17046
20	1413 MANOR VIEW DRIVE, LEBANON, PA 17046
21	1415 MANOR VIEW DRIVE, LEBANON, PA 17046
22	1417 MANOR VIEW DRIVE, LEBANON, PA 17046
23	1419 MANOR VIEW DRIVE, LEBANON, PA 17046
24	1421 MANOR VIEW DRIVE, LEBANON, PA 17046
25	1423 MANOR VIEW DRIVE, LEBANON, PA 17046
26	1425 MANOR VIEW DRIVE, LEBANON, PA 17046
27	1426 MANOR VIEW DRIVE, LEBANON, PA 17046
28	1310 TWIGG AVENUE, LEBANON, PA 17046
29	1161 LOCHWOOD DRIVE, LEBANON, PA 17046
30	1677 GRACE AVENUE, LEBANON, PA 17046 (EXISTING)

STREET ADDRESSES TO BE APPROVED BY NORTH LEBANON TOWNSHIP & LEBANON COUNTY.

LINE #	LENGTH	DIRECTION
L1	73.57'	N67° 59' 49"E
L2	181.45'	S19° 19' 34"E
L3	110.00'	S70° 40' 26"W
L4	36.55'	N67° 59' 49"E
L5	98.27'	N41° 10' 23"E
L6	71.92'	N67° 59' 49"E
L7	176.31'	S19° 19' 34"E
L8	36.81'	S70° 40' 26"W
L9	147.91'	N41° 22' 24"W
L10	182.58'	S19° 19' 34"E
L11	110.00'	S70° 40' 26"W
L12	84.14'	N67° 59' 49"E
L13	26.11'	N76° 52' 19"E
L14	170.61'	S19° 19' 34"E
L15	110.00'	S70° 40' 26"W
L16	110.65'	N76° 52' 19"E
L17	158.67'	S19° 19' 34"E
L18	110.00'	S70° 40' 26"W
L19	110.65'	N76° 52' 19"E
L20	38.53'	N76° 52' 19"E
L21	21.10'	N13° 07' 41"W
L22	89.44'	N69° 07' 01"E
L23	177.37'	S19° 19' 34"E
L24	110.00'	S70° 40' 26"W
L25	118.04'	N64° 14' 43"E
L26	168.70'	S31° 20' 15"E
L27	104.50'	S58° 39' 45"W
L28	13.77'	S70° 40' 26"W
L29	143.87'	S31° 20' 15"E
L30	110.00'	S58° 39' 45"W

LINE #	LENGTH	DIRECTION
L31	110.00'	S58° 39' 45"W
L32	110.00'	S58° 39' 45"W
L33	168.70'	S31° 20' 15"E
L34	110.00'	S58° 39' 45"W
L35	194.21'	N13° 07' 41"W
L36	156.87'	N65° 11' 39"E
L37	325.31'	N65° 11' 39"E
L38	168.70'	S31° 20' 15"E
L39	110.00'	S58° 39' 45"W
L40	168.70'	S31° 20' 15"E
L41	110.00'	S58° 39' 45"W
L42	168.70'	S31° 20' 15"E
L43	110.00'	S58° 39' 45"W
L44	110.72'	N65° 11' 39"E
L45	297.84'	S41° 17' 13"E
L46	86.99'	S58° 39' 45"W
L47	84.53'	N65° 11' 39"E
L48	113.06'	S61° 39' 10"E
L49	74.35'	S28° 20' 50"W
L50	76.89'	S44° 18' 02"W
L51	92.80'	S58° 39' 45"W
L52	110.00'	S58° 39' 45"W
L53	110.00'	S58° 39' 45"W
L54	110.00'	S58° 39' 45"W
L55	110.00'	S58° 39' 45"W
L56	96.64'	S58° 39' 45"W
L57	2.06'	S58° 39' 45"W
L58	61.16'	S70° 40' 26"W
L59	110.00'	S70° 40' 26"W
L60	110.00'	S70° 40' 26"W

LINE #	LENGTH	DIRECTION
L61	111.00'	S70° 40' 26"W
L62	208.42'	S70° 40' 26"W
L63	47.01'	S2° 09' 03"E
L64	50.51'	S69° 07' 01"W
L65	47.01'	N2° 09' 03"W
L66	90.00'	S61° 39' 10"E
L67	74.35'	S28° 20' 50"W
L68	76.89'	S44° 18' 02"W
L69	332.61'	N61° 39' 10"W
L70	387.41'	S61° 39' 10"E
L71	149.08'	S69° 50' 57"W
L72	255.44'	N38° 13' 38"W
L73	253.08'	S59° 50' 57"W
L74	391.34'	N31° 20' 15"W
L75	190.44'	S41° 17' 13"E
L76	180.33'	S74° 25' 33"W
L77	114.30'	S74° 25' 33"W
L78	360.29'	N31° 20' 15"W
L79	114.30'	S74° 25' 33"W
L80	329.24'	N31° 20' 15"W
L81	29.33'	S78° 10' 04"W
L82	286.20'	N31° 20' 15"W
L83	85.57'	S74° 25' 33"W
L84	116.70'	S78° 10' 04"W
L85	257.23'	N31° 20' 15"W
L86	212.01'	N19° 19' 34"W
L87	149.33'	S78° 10' 04"W
L88	110.95'	S78° 10' 04"W
L89	192.19'	N19° 19' 34"W
L90	110.95'	S78° 10' 04"W

LINE #	LENGTH	DIRECTION
L91	177.72'	N19° 19' 34"W
L92	110.95'	S78° 10' 04"W
L93	163.25'	N19° 19' 34"W
L94	111.96'	S78° 10' 04"W
L95	148.65'	N19° 19' 34"W
L97	328.02'	S69° 07' 01"W
L98	18.90'	S78° 10' 04"W
L99	422.42'	S69° 07' 01"W
L100	189.24'	N11° 29' 16"E
L101	60.11'	N23° 58' 46"E
L102	234.32'	N74° 20' 05"E
L103	192.03'	N18° 44' 15"E
L104	319.50'	S69° 07' 01"W
L105	408.78'	N21° 25' 33"W
L106	189.70'	N44° 32' 51"E
L107	154.18'	N3° 55' 45"E
L108	306.01'	N71° 51' 34"E
L109	246.51'	N2° 17' 56"E
L110	229.65'	S2° 17' 54"W
L111	440.98'	N71° 58' 02"E
L112	9.96'	S15° 54' 02"E
L113	201.98'	S15° 54' 02"E
L114	357.11'	S69° 07' 01"W
L115	271.46'	N11° 23' 16"W
L116	339.17'	N44° 32' 51"E
L117	25.07'	N65° 26' 40"E
L118	15.33'	S13° 07' 41"E
L119	209.05'	N72° 08' 42"E

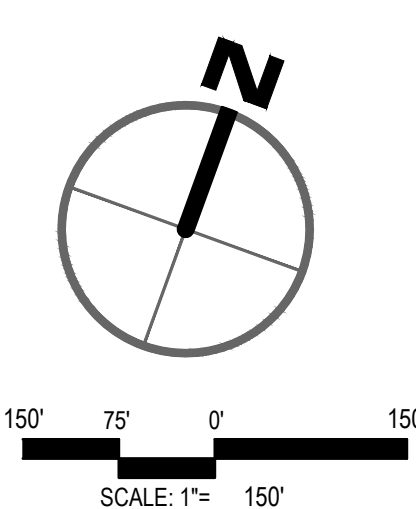
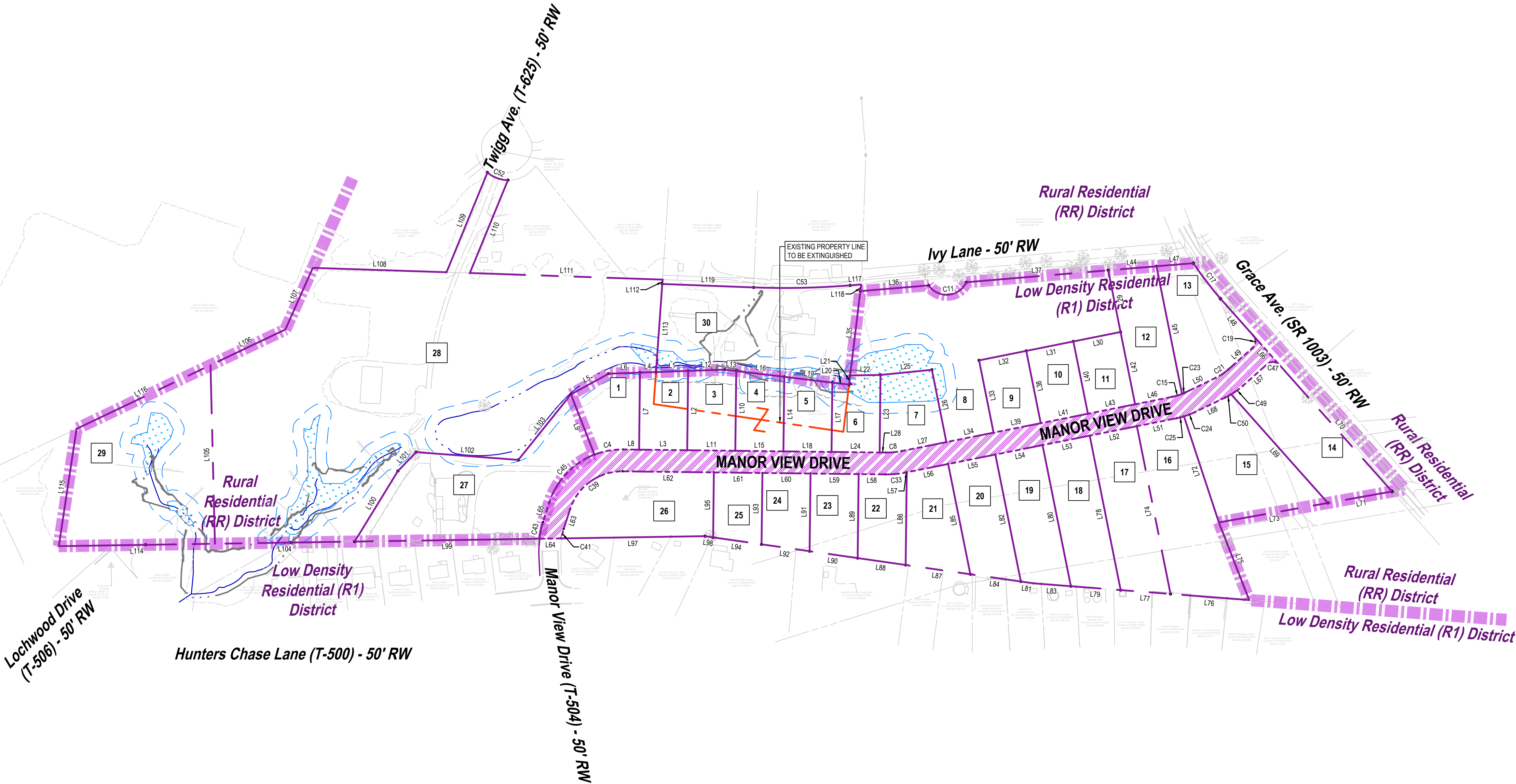
CURVE #	ARC LENGTH	RADIUS	TANGENT LENGTH	CHORD DIRECTION	CHORD LENGTH
C4	66.64'	175.00'	33.73'	S59° 45' 53"W	66.24'
C8	36.69'	175.00'	18.41'	S64° 40' 05"W	36.62'
C11	104.72'	50.00'	86.60'	N65° 11' 39"E	86.60'
C15	23.14'	125.00'	11.60'	S53° 21' 35"W	23.11'
C17	102.15'	902.18'	51.13'	S57° 25' 10"E	102.10'
C19	31.42'	20.00'	20.00'	S16° 39' 10"E	28.28'
C21	34.80'	125.00'	17.52'	S36° 19' 26"W	34.69'
C23	8.19'	125.00'	4.10'	S46° 10' 43"W	8.19'
C24	26.64'	175.00'	13.34'	S48° 39' 41"W	26.61'
C25	17.23'	175.00'	8.62'	S55° 50' 32"W	17.22'
C33	47.17'	225.00'	23.67'	S64° 40' 05"W	47.08'
C39	158.88'	125.00'	92.20'	S34° 15' 41"W	148.40'
C41	22.66'	140.00'	11.35'	S6° 47' 13"E	22.63'
C43	39.05'	190.00'	19.59'	N8° 02' 20"W	38.98'
C45	155.79'	175.00'	83.48'	N23° 21' 08"E	150.70'
C47	31.42'	20.00'	20.00'	S73° 20' 50"W	28.28'
C49	32.95'	175.00'	16.53'	S33° 44' 31"W	32.90'
C50	15.77'	175.00'	7.89'	S41° 43' 06"W	15.77'
C52	51.00'	75.00'	26.53'	S89° 36' 49"E	50.02'
C53	220.92'	1889.21'	110.59'	N68° 47' 42"E	220.79'

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED IRON PIN
- PROPOSED CONCRETE MONUMENT
- PROPOSED CORNER MARKER
- PROPOSED DRILL HOLE
- PROPOSED CORNER MARKER
- PROPOSED PUBLIC RIGHT-OF-WAY TO BE DEDICATED
- PROPERTY LINE TO BE EXTINGUISHED
- PROPOSED LANDHOOK

SUBDIVISION PLAN NOTES

- THE EXISTING TWO (2) TRACTS ARE PROPOSED TO BE COMBINED AND SUBDIVIDED INTO THIRTY (30) NEW RESIDENTIAL LOTS. TWO OF THE CREATED LOTS (27 AND 30) WILL BE OCCUPIED BY EXISTING DEWILLINGS.
- REFER TO SITE PLAN FOR PROPOSED LOT AREAS AND DETAILED SITE LAYOUT.
- SUFFICIENT MONUMENTS SHALL BE SET TO ENSURE THAT RELIABLE SURVEY POINTS ARE AVAILABLE FOR ALL PARTS OF THE SUBDIVISION. AT LEAST ONE (1) MONUMENT SHALL BE PLACED FOR EVERY TWO (2) LOTS OR EVERY TWO HUNDRED (200) FEET OF STREETS, WHICHEVER IS LESS.
 - THE MONUMENT SHALL CONSIST OF A CONCRETE MONUMENT 4" X 4" X 30", SET LEVEL WITH FINISHED GRADE.
 - ALL LOT CORNERS AND CHANGES IN DIRECTION SHALL BE IDENTIFIED WITH 3/4" DIAMETER X 15" STEEL BARS.
 - DRILL HOLES IN CONCRETE SIDEWALK MAY BE PROVIDED IN LIEU OF CONCRETE MONUMENTS AND/OR STEEL BARS ALONG THE PROPOSED PUBLIC RIGHT-OF-WAY LINE DUE TO THE LOCATION OF THE PROPOSED CONCRETE SIDEWALK INTERFERING WITH CONCRETE MONUMENT AND/OR STEEL BAR INSTALLATION/PLACEMENT. A WAIVER IS REQUIRED TO PROVIDE DRILL HOLES IN LIEU OF CONCRETE MONUMENTS AND/OR STEEL BARS.



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR

SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

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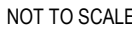
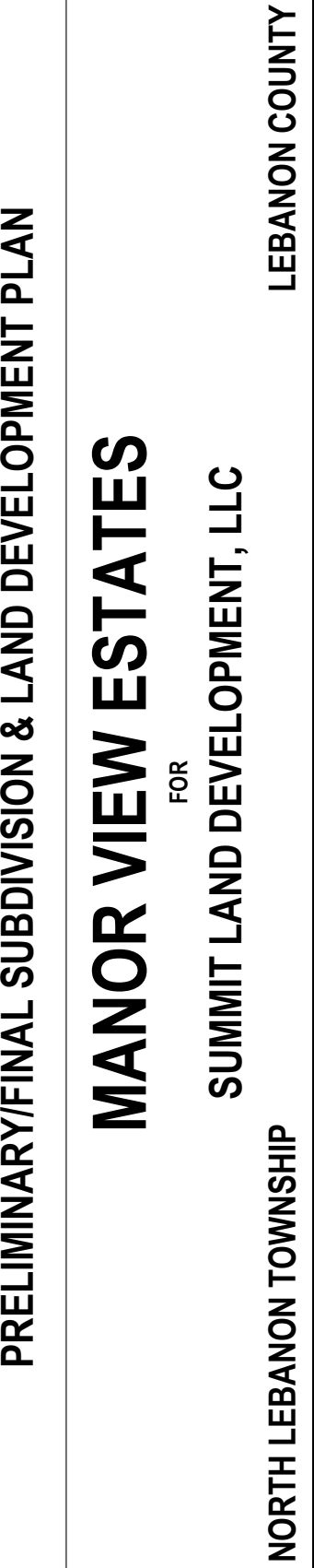
035 - SUBD PLAN

NO.	DATE	DESCRIPTION
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2	01/23/2024	REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
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SUBDIVISION PLAN

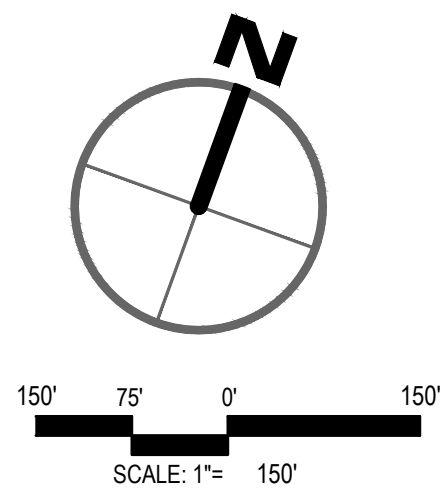
SHEET NO.

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1. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
2. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS AS REQUIRED BY THE OWNER, ENGINEER OR LOCAL GOVERNING AUTHORITIES.
4. TRAFFIC CONTROL SIGNALING SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED WITHIN 10' OF THE EDGE OF THE ROAD 5' OFF THE FACE OF THE CURB, AND WITH A VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
5. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
6. PAVEMENT MARKING KEY:

4" SYDL	4" SOLD YELLOW DOUBLE LINE
4" SYL	4" SOLD YELLOW LINE
4" SWL	4" SOLD WHITE LINE
12" SWDB	12" SOLD WHITE STOP BAR
4" BWL	4" BROKEN WHITE LINE 10' STRIKE 30' SPACE
7. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE FOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
8. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHODICALLY AND BY THE AUTHORITY OF THE HAVING JURISDICTION OR PENNOD AS APPLICABLE FOR THE LOCATION OF THE WORK.
9. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH WFGA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 6 OF NFPA 1 UNIFORM FIRE CODE.
10. NET LOT AREA SHALL BE CALCULATED WHEN EVALUATING THE MINIMUM LOT AREA REQUIREMENTS. REFER TO THE "LOT AREAS" TABLE ON THE SUBDIVISION PLAN SHEET FOR NET LOT AREAS. ALL AREAS TO THE SITE PLAN SHEETS ARE GROSS LOT AREAS.
11. THE REQUIRED SIGHT DISTANCE SHALL BE PROVIDED AND PERPETUALLY MAINTAINED

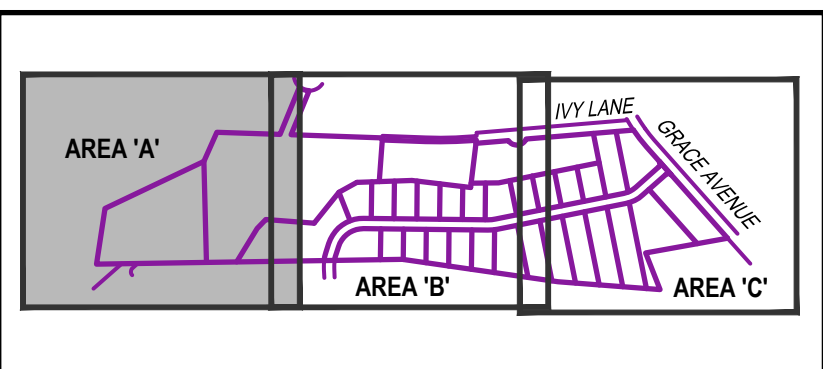
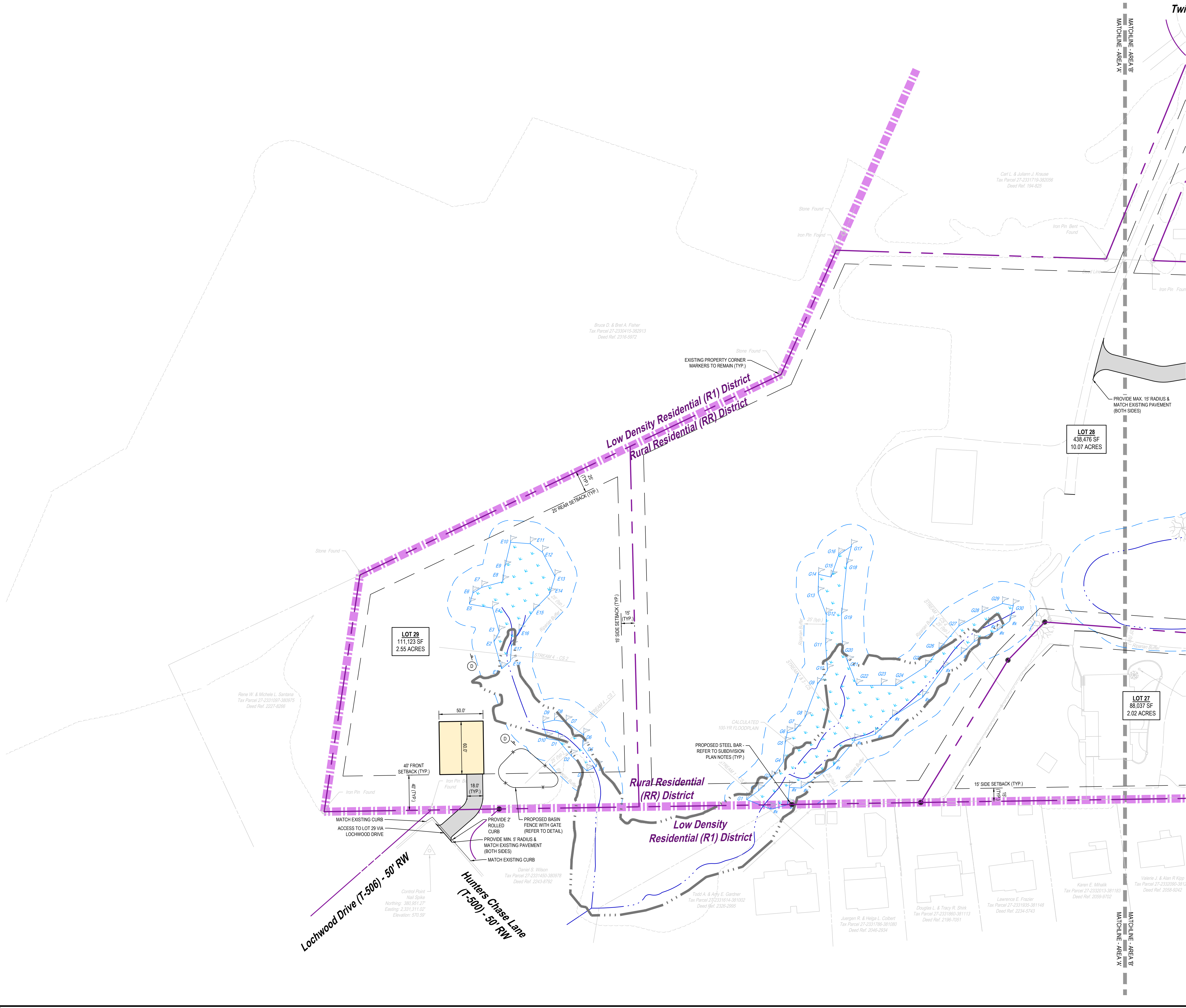


REVISIONS	NO	DATE	DESCRIPTION
	1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY, ENGINEER & COUNTY REVIEW COMMENTS
	2	01/2/2024	REVISED PER TWP. ENG., AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
	3	03/05/2024	REVISED PER WATER AUTHORITY REVIEWER REVIEW COMMENTS
	4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	5	05/01/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
	6	06/10/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	7	06/03/2024	REVISED PER TWP. ENGINEER REVIEW
	8	07/14/2025	REVISED PER RETAINING WALL DESIGN (B OTHERS)
	9	08/15/2025	(ISSUED FOR RECORDING)

SHEET NO.

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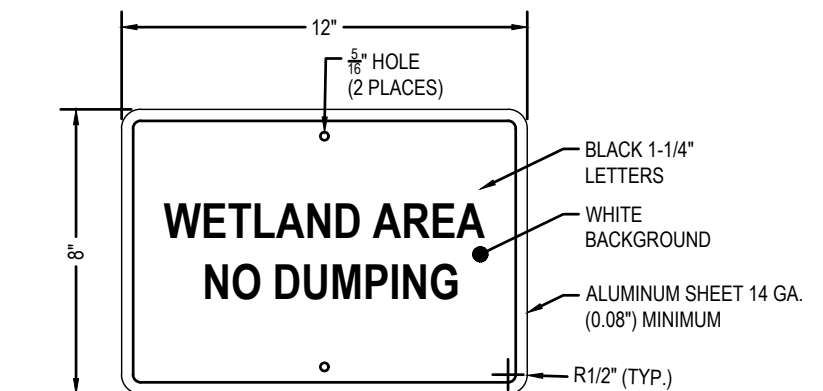
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KEY MAP
NOT TO SCALE

LEGEND	
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED CROSSWALK
	PROPOSED LIGHT STANDARDS
	PROPOSED CENTERLINE
	PROPOSED CURB
	SITE SIGN
	PROPOSED IRON PIN
	PROPERTY CORNER MARKER
	PROPOSED CONCRETE MONUMENT
	PROPERTY CORNER MARKER
	PROPOSED DRILL HOLE
	PROPERTY CORNER MARKER
	PROPOSED CHAINLINK FENCE
	PROPOSED WALL
	PROPOSED CLEAR SIGHT TRIANGLE
	25' WIDE RIPARIAN BUFFER

SIGN SCHEDULE			
NO.	DOT NO / SIGN SIZE	LEGEND	QTY.
A	R1-1 30"x30"		2
B	D3-1 18"x8"		2
C	R2-1 24"x30"		2
D	12" X 8"	CUSTOM (SEE BELOW DETAIL)	6



NOTES:
1. INSTALL SIGNS ON THE BOUNDARY OF THE EASEMENT AS SHOWN ON THE SITE PLAN, FACING AWAY FROM THE INTERIOR OF THE EASEMENT.
2. INSTALL SIGNS ON GALVANIZED STEEL OR ALUMINUM POSTS, AT A HEIGHT OF 5 FEET ABOVE GROUND ELEVATION, USING 3\"/>

WETLAND AREA SIGN
NOT TO SCALE

REVISIONS	
NO.	DESCRIPTION
1	1/10/2023 REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024 REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024 REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/25/2024 REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024 REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024 REVISED PER HDP SUBMISSION
7	09/03/2024 REVISED PER TWP. ENGINEER REVIEW
8	07/14/2025 REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	09/15/2025 ISSUED FOR RECORDING

TITLE
SITE PLAN - AREA 'A'

SHEET NO.
12 of 39

430 NORTH FRONT STREET
WORMLEYSBURG, PA | 17043
717.678.6750
www.integratedconsultingllc.com

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

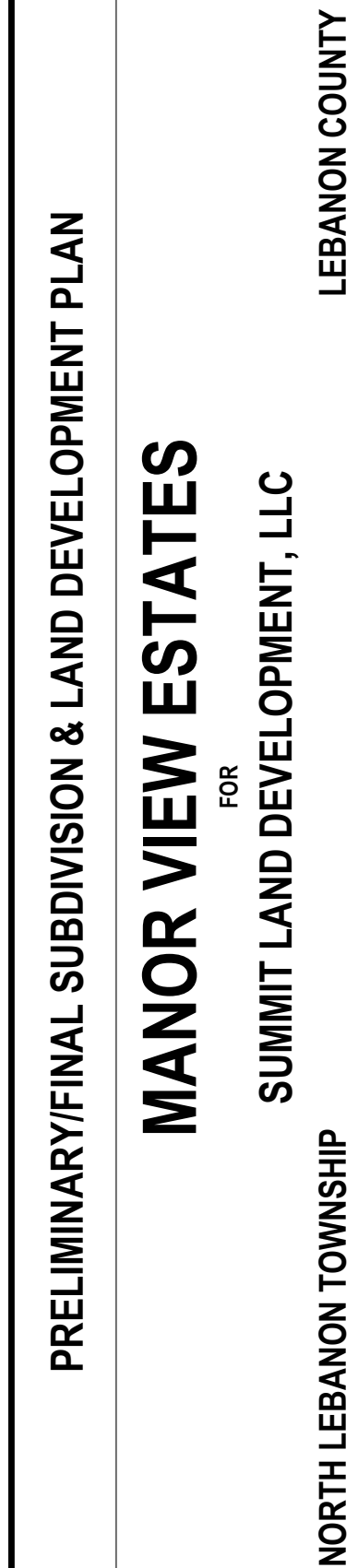
FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP
LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

CAD FILE:
04 - SITE PLAN



DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023

DESCRIPTION	REVIEW COMMENTS
REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS	
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REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS	
REVISED PER TWP. ENGINEER REVIEW COMMENTS	
REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS	
REVISED PER HOF SUBMISSION	
REVISED PER TWP. ENGINEER REVIEW	
REVISED PER RETAINING WALL DESIGN (BY OTHERS)	
ISSUED FOR RECORDING	

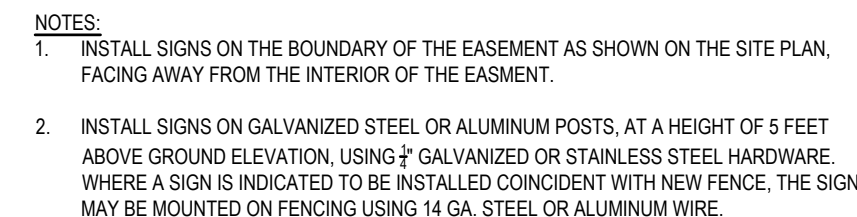
SHEET NO.

13 of 39

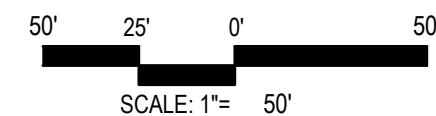


	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED CROSSWALK
	PROPOSED LIGHT STANDARDS
	PROPOSED CENTERLINE
	PROPOSED CURB
	SITE SIGN
	PROPOSED IRON PIN
	PROPERTY CORNER MARKER
	PROPOSED CONCRETE MONUMENT
	PROPERTY CORNER MARKER
	PROPOSED DRILL HOLE
	PROPERTY CORNER MARKER
	PROPOSED CHAINLINK FENCE
	PROPOSED WALL
	PROPOSED CLEAR SIGHT TRIANGLE
	25' WIDE RIPARIAN BUFFER

NO.	DOT NO./ SIGN SIZE	LEGEND	QTY.
A	R1-1 30"x30"		2
B	D3-1 18"x8"		2
C	R2-1 24"x30"		2
D	12" X 8"	CUSTOM (SEE BELOW DETAIL)	6



NOT TO SCALE



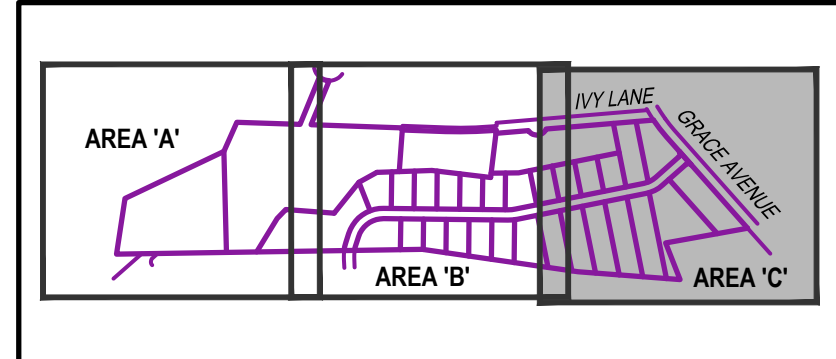
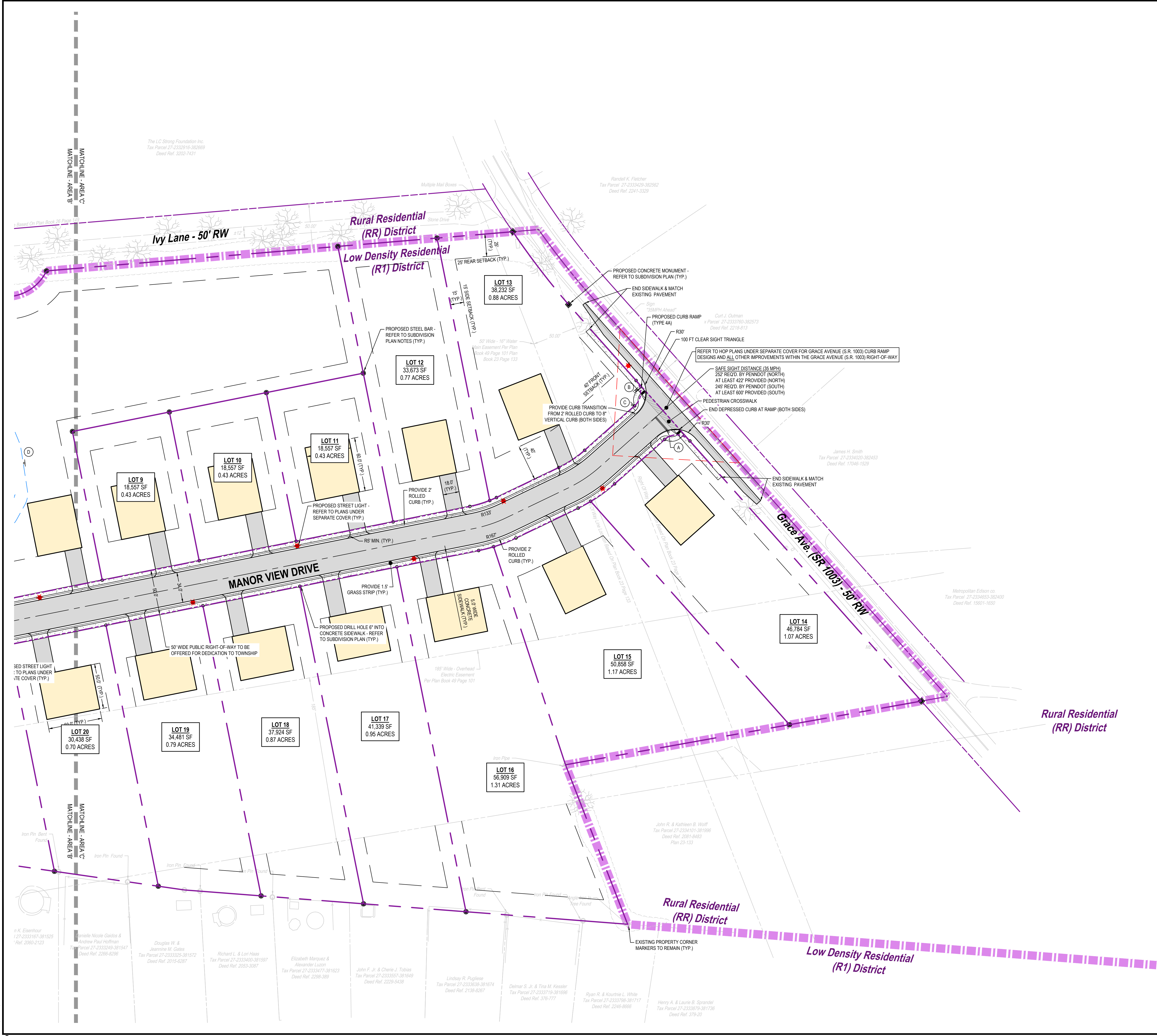
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KEY MAP

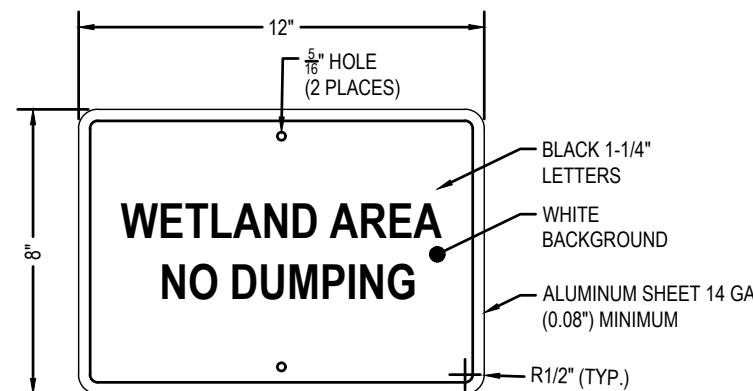
NOT TO SCALE

LEGEND

	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
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	PROPOSED DRILL HOLE
	PROPOSED CHAINLINK FENCE
	PROPOSED WALL
	PROPOSED CLEAR SIGHT TRIANGLE
	25' WIDE RIPARIAN BUFFER

SIGN SCHEDULE

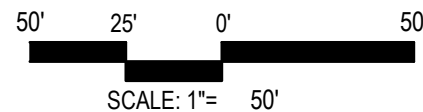
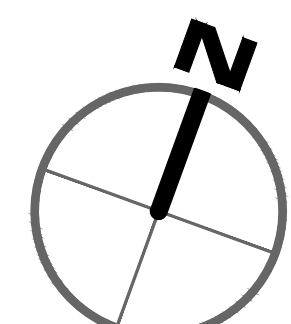
NO.	DOT NO / SIGN SIZE	LEGEND	QTY.
A	R1-1 30"x30"		2
B	D3-1 18"x8"		2
C	R2-1 24"x30"		2
D	12" X 8"	CUSTOM (SEE BELOW DETAIL)	6



- NOTES:
- INSTALL SIGNS ON THE BOUNDARY OF THE EASEMENT AS SHOWN ON THE SITE PLAN, FACING AWAY FROM THE INTERIOR OF THE EASEMENT.
 - INSTALL SIGNS ON GALVANIZED STEEL OR ALUMINUM POSTS, AT A HEIGHT OF 5 FEET ABOVE GROUND ELEVATION, USING 3/4" GALVANIZED OR STAINLESS STEEL HARDWARE. WHERE A SIGN IS INDICATED TO BE INSTALLED COINCIDENT WITH NEW FENCE, THE SIGN MAY BE MOUNTED ON FENCING USING 14 GA. STEEL OR ALUMINUM WIRE.

WETLAND AREA SIGN

NOT TO SCALE



PROFESSIONAL SEAL

DRAWN	M.S.
REVIEWED	J.L.K.
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	04 - SITE PLAN

REVISIONS	NO.	DATE	DESCRIPTION
	1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
	2	01/23/2024	REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
	3	03/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
	6	06/10/2024	REVISED PER HOP SUBMISSION
	7	06/03/2024	REVISED PER TWP. ENGINEER REVIEW
	8	07/14/2025	REVISED PER RETAINING WALL DESIGN (BY OTHERS)
	9	08/14/2025	ISSUED FOR RECORDING

SITE PLAN - AREA 'C'

SHEET NO.

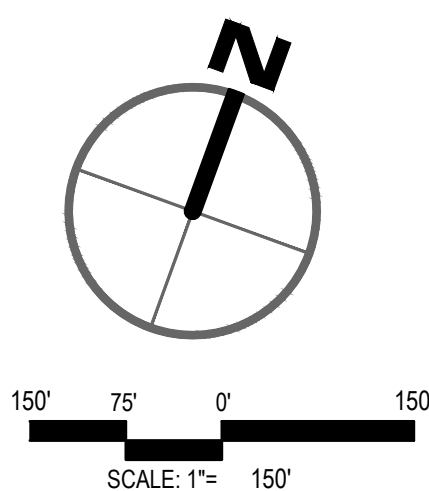
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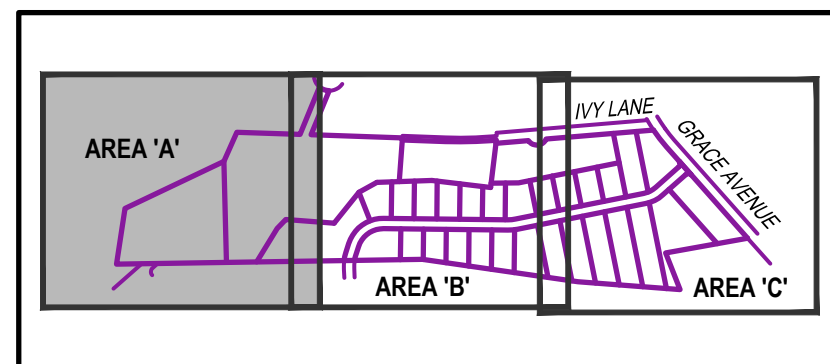
THE TOWNSHIP AND/OR THE AUTHORITY SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE IV OF THE MUNICIPALITIES PLANNING CODE. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE. IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTION. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE RECORDED WITH THE FINAL PLAN OR SHOWN ON THE APPROVED IMPROVEMENT CONSTRUCTION PLAN.



1. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
3. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
4. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
6. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
7. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN ALL HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
8. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
9. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOFING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
10. PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPWARD IN THE DIRECTION OF PIPE LAYING.
11. THE PROPOSED STORMWATER MANAGEMENT BMPs ARE NOT UNDERLAIN BY LIMESTONE.
12. CONTRACTORS AND PROPERTY OWNERS SHALL NOT STORE CONSTRUCTION MATERIALS OR EXCESS TRASH RECEPTACLES (I.E. DUMPSTERS) ON THE PAVED CARTRAY OF STREETS.
13. ALL MUD FROM CONSTRUCTION ACTIVITIES THAT IS TRACKED ONTO STREETS SHALL BE CLEANED BY THE RESPONSIBLE CONTRACTOR OR PROPERTY OWNER AT THE END OF EACH WORKDAY.
14. STORMWATER INLETS OR DRAINAGE PIPES WHICH BECOME FILLED WITH MUD OR DEBRIS FROM CONSTRUCTION ACTIVITIES SHALL BE CLEANED BY THE RESPONSIBLE CONTRACTOR OR PROPERTY OWNER.
15. THE DESIGN CALCULATIONS (RATE AND VOLUME) ALLOW FOR UP TO 5,000 SF OF IMPERVIOUS AREA ON EACH LOT (WHICH INCLUDES THE HOUSE, DRIVEWAY, SIDEWALK, AND ANY FUTURE IMPERVIOUS AREA).
16. HOMES REQUIRE ALL DOWNSPOUTS TO DISCHARGE TO THE FRONT YARD IN ORDER TO COMPLY TO THE DEVELOPED DRAINAGE AREA BOUNDARIES - REFER TO PCSM NARRATIVE.
17. ALL INLETS SHALL BE CONSTRUCTED WITH CONCRETE FLOW CHANNELS CAST IN-PLACE IN THE BOTTOM OF EACH INLET, EXCEPT THE LAST TWO INLETS BEFORE A STORM SEWER CUTOFF WALL SHALL BE CONSTRUCTED WITH A MINIMUM 12" DEEP SUMP TO CATCH DEBRIS.

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF LAKEVIEW OR ITS SUCCESSORS, AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO NORTH LEBANON TOWNSHIP, AS REQUIRED BY NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. MAINTENANCE SHALL INCLUDE PERFORMING MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION, OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
3. ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED, AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
4. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT FACILITIES. STORMWATER RUNOFF FROM EXISTING NATURAL SWALES AND/OR EXISTING DRAINAGE CHANNELS SHALL NOT BE DIRECTED TOWARDS OR INTERCEPTED BY THE STORMWATER MANAGEMENT FACILITIES.
5. TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DELAY, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
6. CONTACT NORTH LEBANON TOWNSHIP AT (717) 273-7132 PRIOR TO CONSTRUCTION TO COORDINATE INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE TOWNSHIP ENGINEER. NO OCCUPANCY IS PERMITTED UNTIL STORMWATER MANAGEMENT FACILITIES HAVE BEEN INSTALLED AND APPROVED THROUGH INSPECTION BY THE TOWNSHIP ENGINEER.

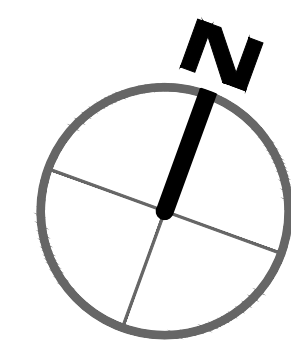




KEY MAP
NOT TO SCALE

LEGEND

-
- The diagram illustrates a proposed stormwater management system layout. Key components and labels include:
- PROPOSED MAJOR CONTOUR**: Indicated by a solid line with a '31.11' elevation marker.
 - PROPOSED MINOR CONTOUR**: Indicated by a dashed line with a '30.92' elevation marker.
 - PROPOSED SPOT ELEVATION**: A circular marker with '1007.85' inside.
 - PROPOSED SPOT ELEVATION: TOP OF CURB**: A circular marker with '11C 310.17' and '11C 309.50' inside.
 - PROPOSED SPOT ELEVATION: FINISHED GRADE & TOP OF WALL**: A circular marker with '11W 313.00' and '11W 309.50' inside.
 - PROPOSED SPOT ELEVATION: FINISHED GRADE @ BOTTOM OF WALL**: A circular marker with '11P 310.25' inside.
 - PROPOSED SPOT ELEVATION: HIGH POINT OR LOW POINT**: A circular marker with '11P 310.25' inside.
 - PROPOSED SLOPE**: Indicated by a '1.0%' slope arrow.
 - PROPOSED STORM PIPE**: A thick green line representing the stormwater pipe.
 - PROPOSED STORM MANHOLE STRUCTURE**: A circular structure with a green cover.
 - PROPOSED STORM INLET STRUCTURE**: A rectangular structure with a green cover.
 - PROPOSED 4" PERFORATED UNDERDRAIN**: A dashed line.
 - PROPOSED CLEANOUT**: A circular marker with 'CO' inside.
 - PROPOSED DOWNSPOUT**: A circular marker with 'DS' inside.
 - PROPOSED RIPRAP APRON**: A rectangular area filled with a riprap pattern.
 - CLAY CORE**: A rectangular area filled with a brick pattern.
 - INFILTRATION TEST LOCATION**: A circular marker with 'TP' inside.



**INTEGRATED
CONSULTING**

430 NORTH FRONT STREET
WORMLEYSBURG | PA | 17043
717.678.6750
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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
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REVIEWED JLK

SCALE	AS NOTED
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DATE	08/11/2023
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PROJECT NO.	21-0192
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CAD FILE:
05 - GRADING PLAN

REVISIONS		DATE	DESCRIPTION
1	NO	NO	ENGINEER AUTHORITY ENGINEER & COUNTRY REVIEW COMMENTS
2	NO	NO	ENGINEER AUTHORITY ENGINEER & COUNTRY REVIEW COMMENTS
3	NO	01/23/2024	REVISED PER TWP. ENGINEER & WATER AUTH. REVIEW COMMENTS
4	NO	03/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	NO	04/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
6	NO	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
7	NO	06/05/2024	REVISED PER H2F SUBMISSION
8	NO	09/03/2024	REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	NO	07/14/2025	REVISED PER RETAINING WALL DESIGN (BY OTHERS)

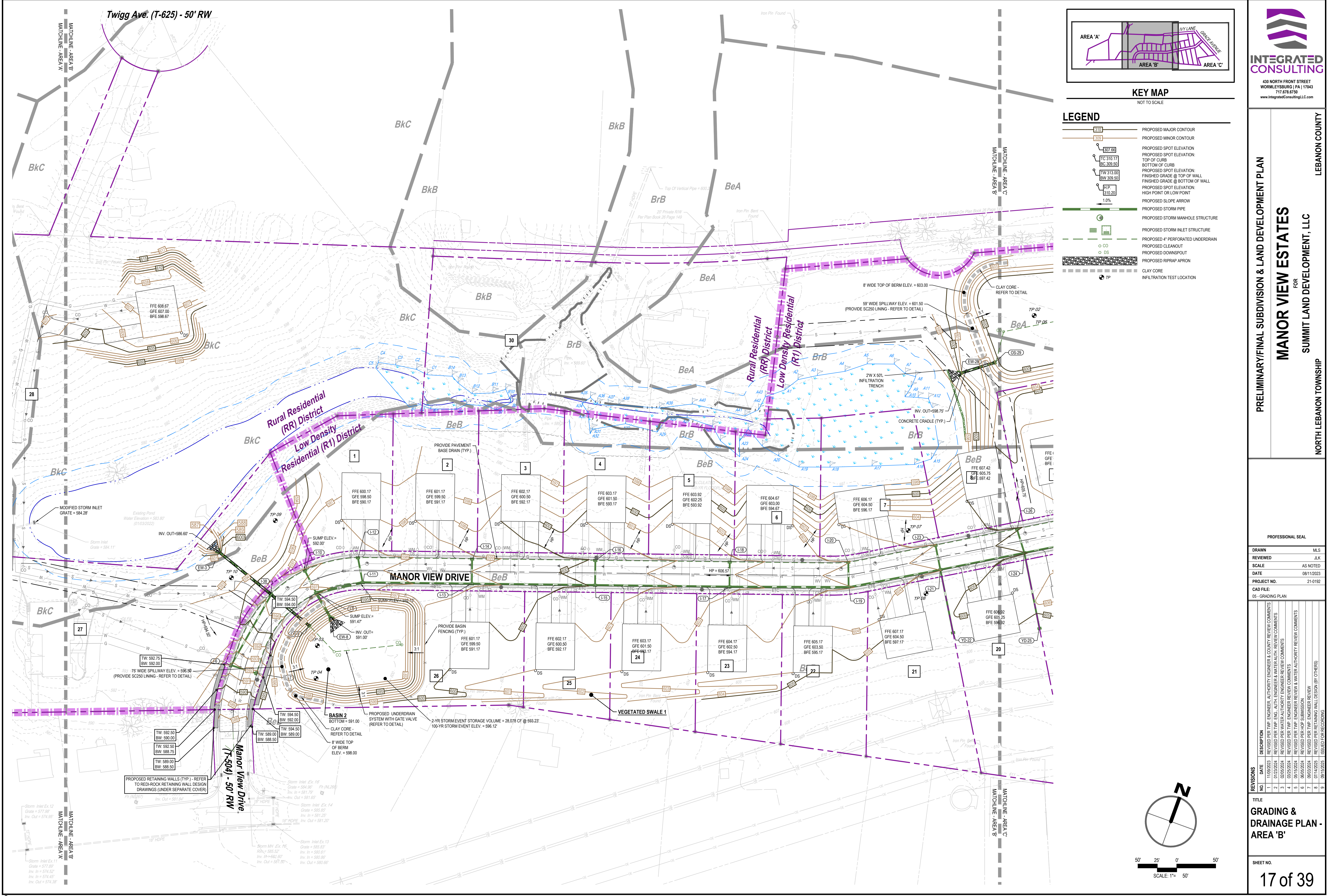
TITLE

**GRADING &
DRAINAGE PLAN -
AREA 'A'**

SHEET NO.

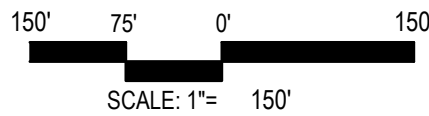
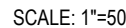
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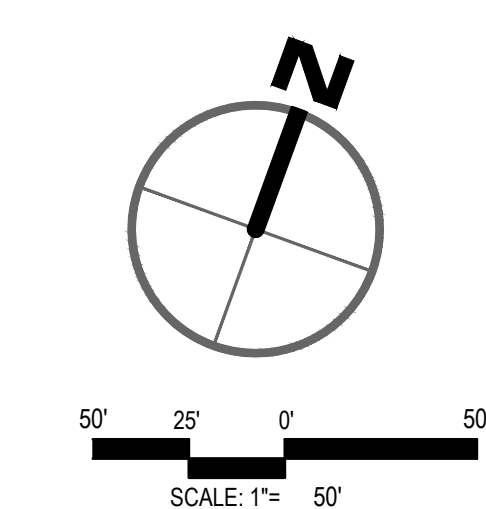
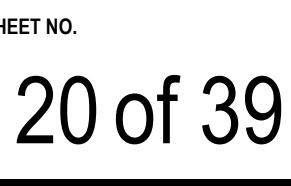
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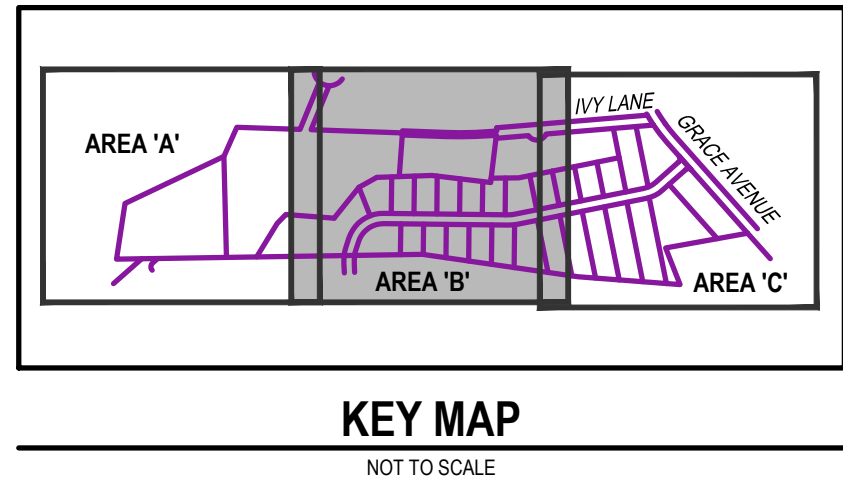
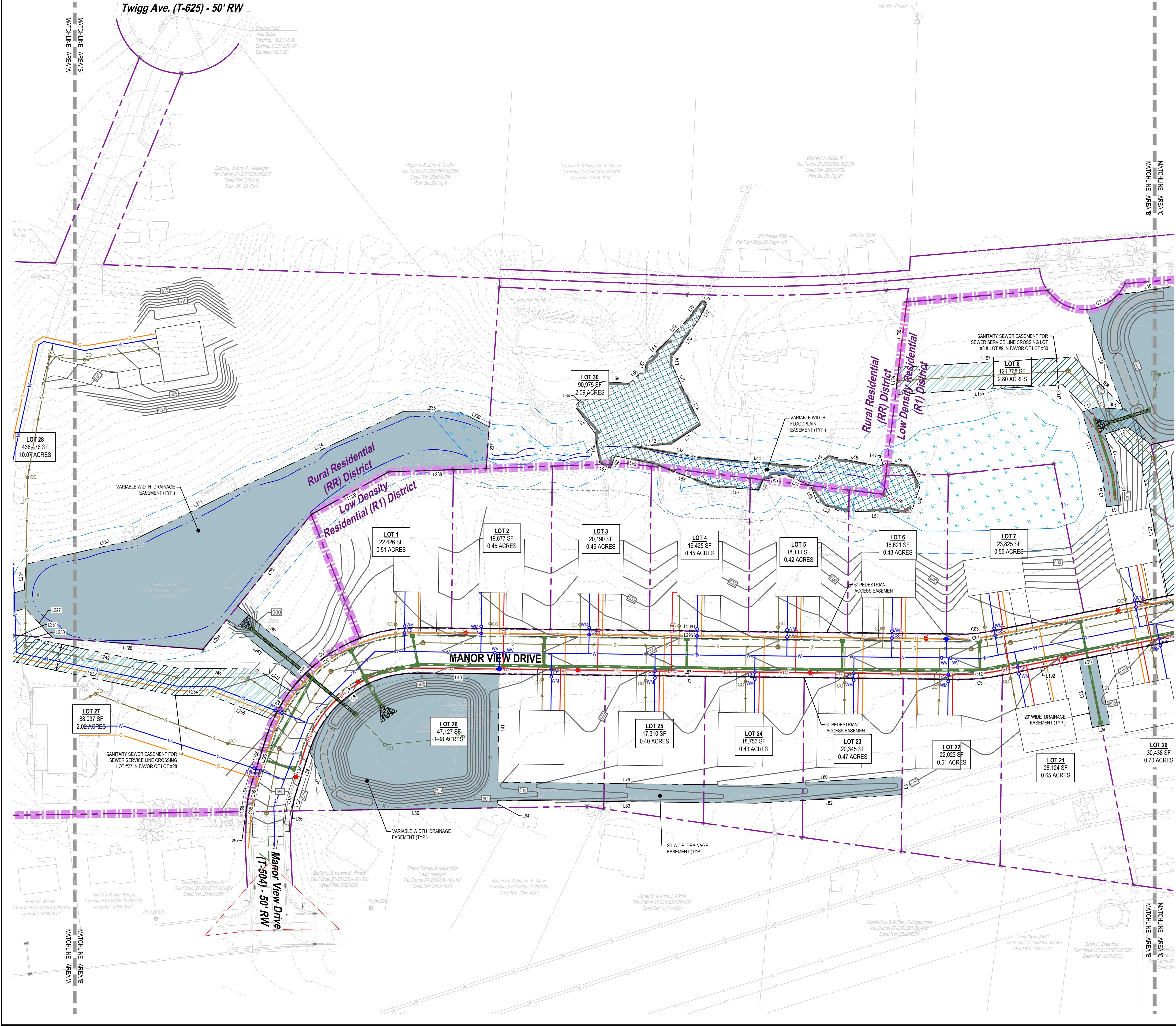
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IMAGES, DETAILS, CADD, EASEMENT PLAN, DEVELOPMENT PARTNERS, LLC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF IDP.



- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - PROPOSED ACCESS EASEMENT
 - PROPOSED UTILITY OR CLEAR SIGHT TRIANGLE EASEMENT
 - PROPOSED DRAINAGE EASEMENT
 - PROPOSED FLOODPLAIN EASEMENT
 - *TIE-IN LINE TO SURVEY CONTROL POINT

- EASEMENT NOTES**
- ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
 - MUNICIPAL AND COUNTY OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS VIA STREET RIGHT-OF-WAY AND EASEMENTS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITIES.
 - DRAINAGE EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY DRAINAGE EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONALITY OF THE FACILITY OR EASEMENT IN ANY WAY.

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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN: M.S.

REVIEWED: J.L.K.

SCALE: AS NOTED

DATE: 08/11/2023

PROJECT NO.: 21-0192

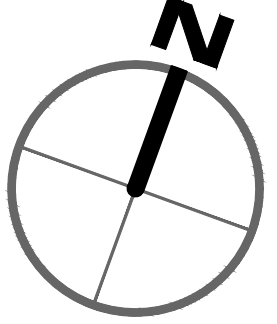
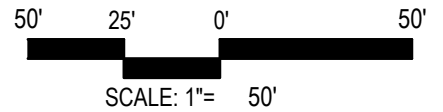
CAD FILE: 06.5 - EASEMENT PLAN

NO.	DATE	DESCRIPTION
1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
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8	07/14/2025	REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	08/14/2025	ISSUED FOR RECORDING

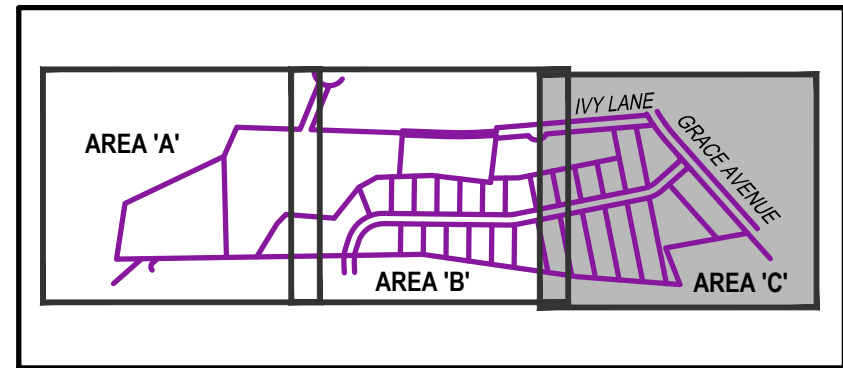
EASEMENT PLAN - AREA 'B'

SHEET NO.

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KEY MAP

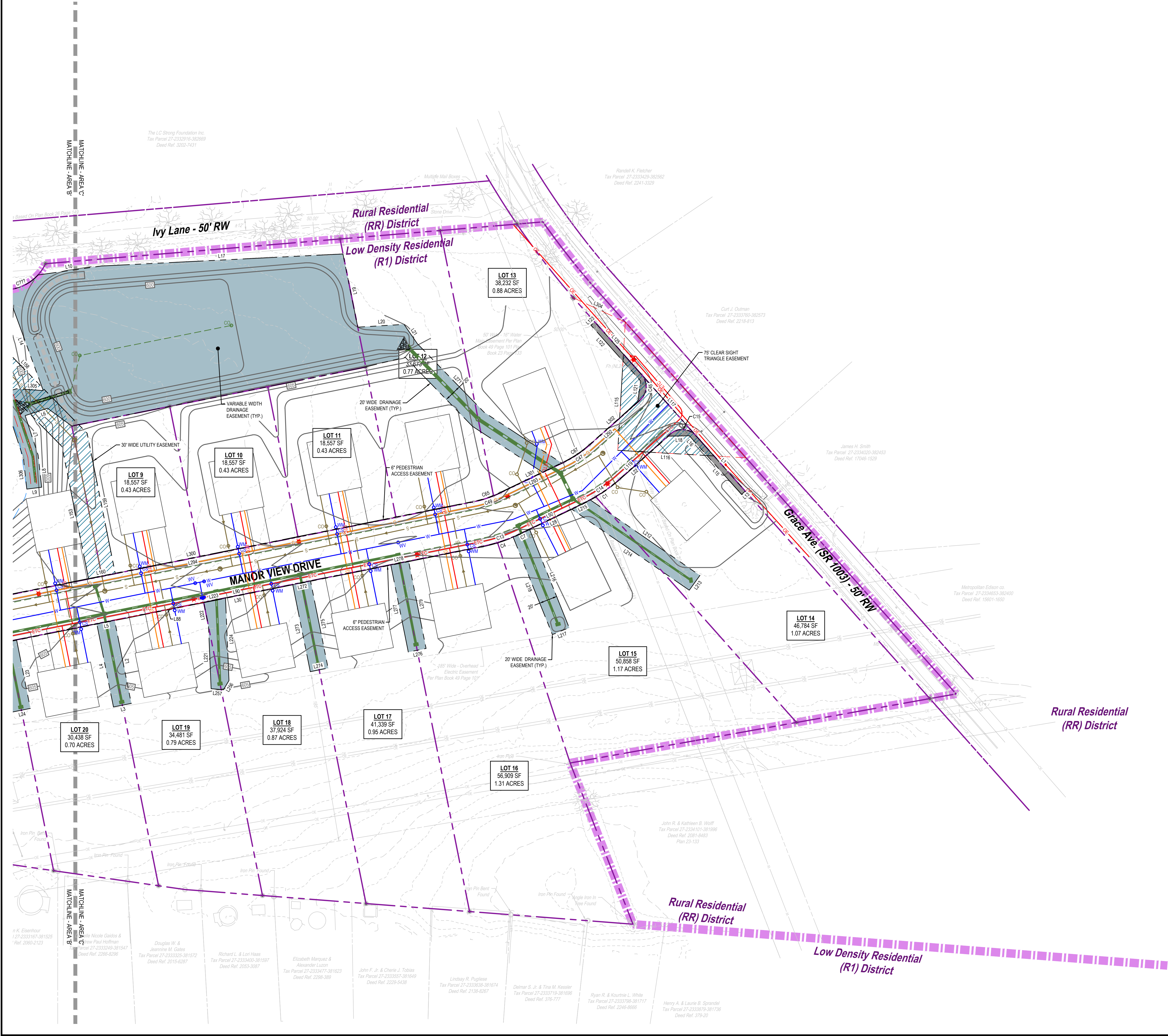
NOT TO SCALE

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED ACCESS EASEMENT
- PROPOSED UTILITY OR CLEAR SIGHT TRIANGLE EASEMENT
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- PROPOSED FLOODPLAIN EASEMENT
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EASEMENT NOTES

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PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

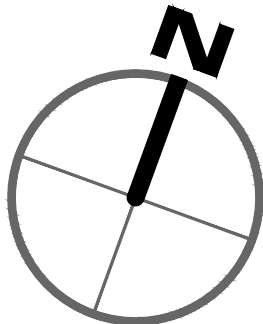
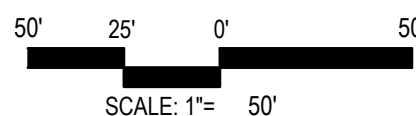
CAD FILE:
06.5 - EASEMENT PLAN

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9	9	08/15/2025	ISSUED FOR RECORDING

TITLE
EASEMENT PLAN -
AREA 'C'

SHEET NO.

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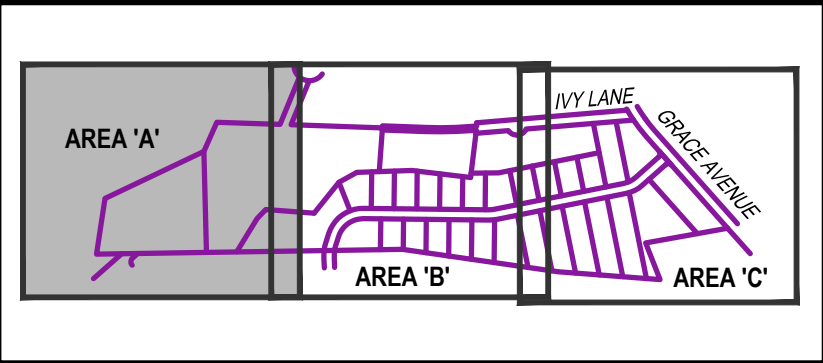
ORDINANCE REQUIREMENTS - LEBANON COUNTY SALDO

SECTION:	REQUIRED	PROPOSED	WAIVER
5.02.G	NO PLANTINGS OTHER THAN GRASS SHALL BE ERECTED WITHIN UTILITY/STORM EASEMENTS	COMPLIES	NO
5.10.C.8.a.	STREET TREES	COMPLIES	NO

LANDSCAPING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
DECIDUOUS TREES						
GT	27	Gleditsia triacanthos in. Sky line	Sky line Seedless Honeylocust	2.5" cal	B/B	6' Br./Full heads
TCG	27	Tilia cordata "GreenSpire"	GreenSpire Linden	2.5" cal	B/B	6' Br./Full heads

NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK.



KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED STREET TREES
- PROPOSED BASIN SEED MIXTURE
- PROPOSED PLUGS AND BASIN SEED MIXTURE
- PROPOSED CLEAR SIGHT TRIANGLE



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CAD FILE:
07 - LANDSCAPE PLAN

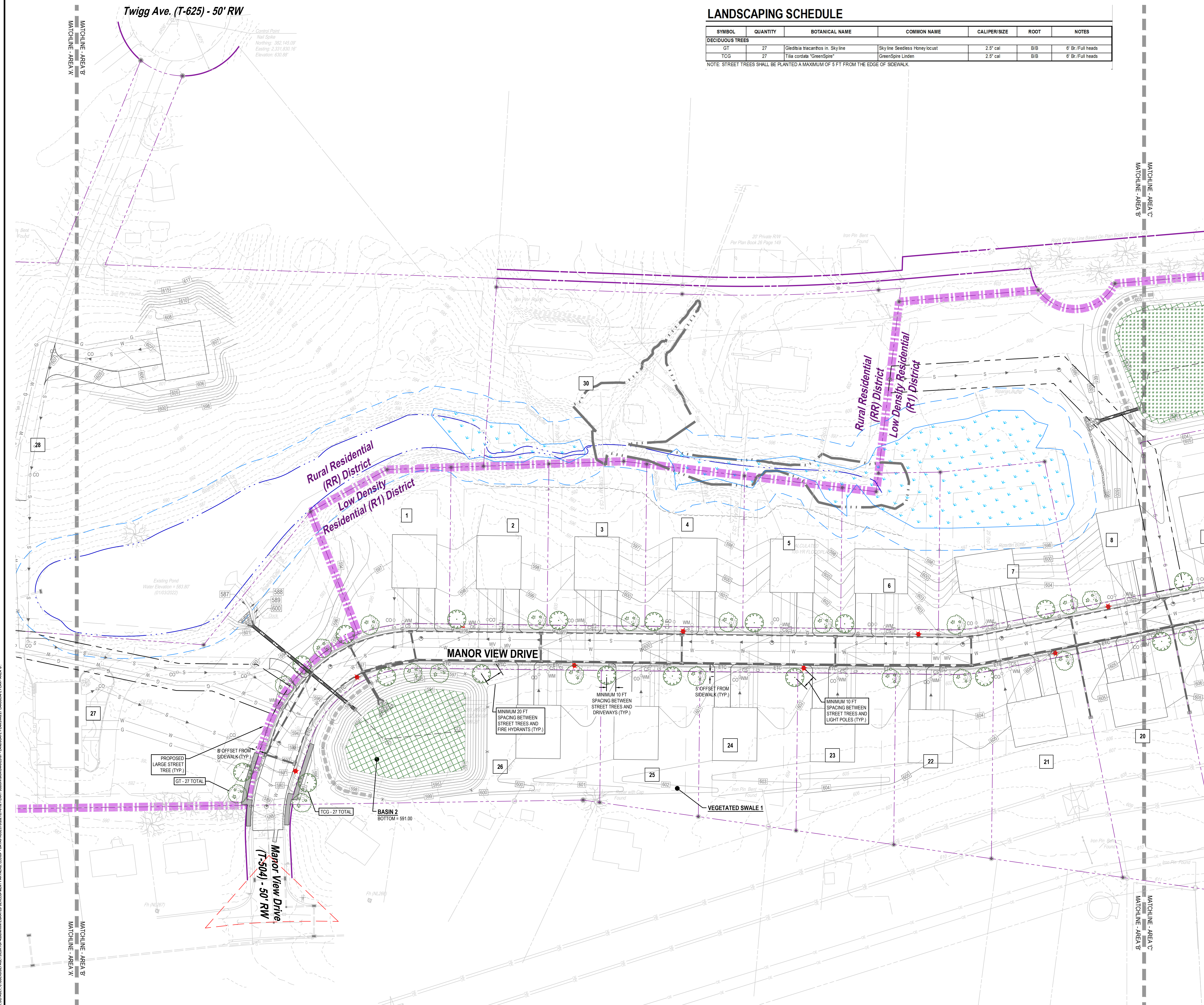
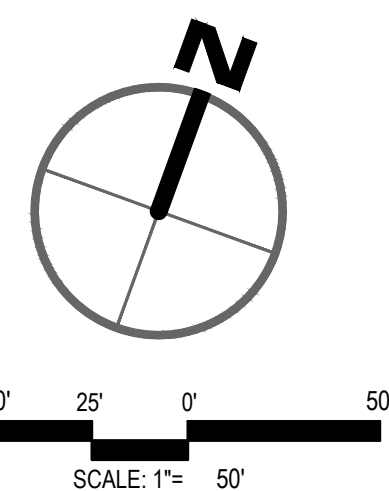
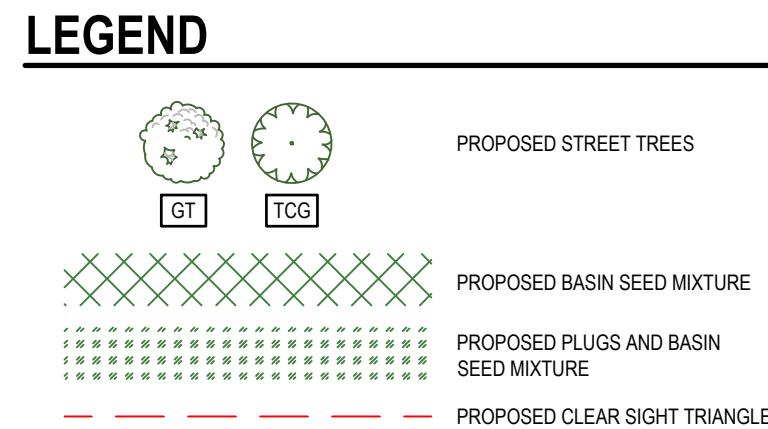
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TITLE
LANDSCAPE PLAN - AREA 'A'

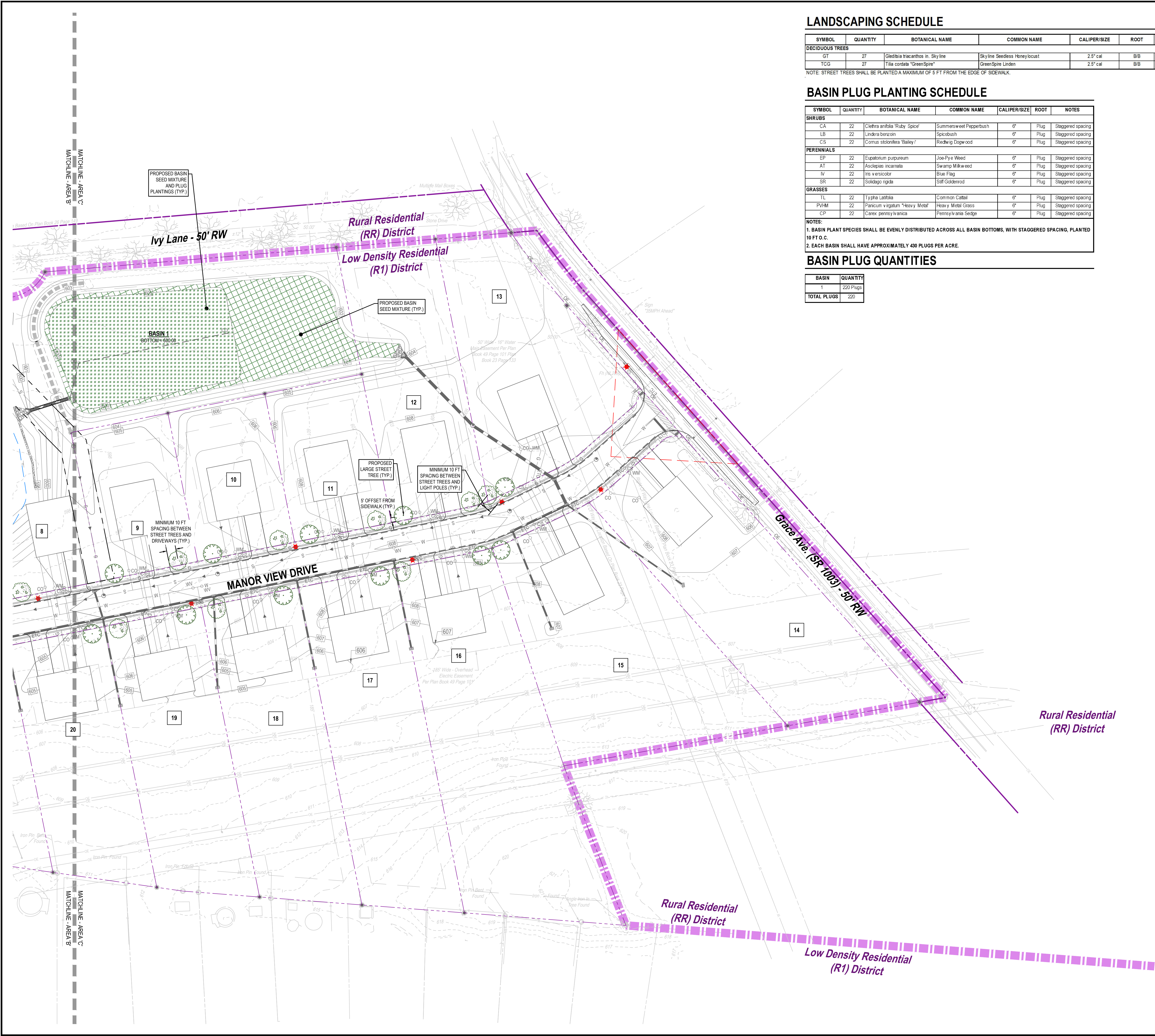
SHEET NO.
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\\B0265.DEPART.CADD\B0265\DEFAULT_CADD\TOP-CADD\INTEGRATED DEVELOPMENT PARTNERS, LLC\DP - DATA\PROJECTS\2021-01-09 PERRY SUBDIVISION\DWG - 26 - LANDSCAPE PLAN\DWG - 26 - LANDSCAPE PLAN - AREA 'A'.DWG

NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK



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LANDSCAPING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
DECIDUOUS TREES						
GT	27	Gleditsia triacanthos In. Sky line	Sky line Seedless Honeylocust	2.5" cal	B/B	6' Br./Full heads
TCG	27	Tilia cordata "GreenSpire"	GreenSpire Linden	2.5" cal	B/B	6' Br./Full heads

NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK.

BASIN PLUG PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
SHRUBS						
CA	22	Clethra alnifolia 'Ruby Spice'	Summersweet Pepperbush	6"	Plug	Staggered spacing
LB	22	Lindera benzoin	Spicebush	6"	Plug	Staggered spacing
CS	22	Cornus stolonifera 'Bailey'	Redwing Dogwood	6"	Plug	Staggered spacing
PERENNIALS						
EP	22	Eupatorium purpureum	Joe-Pye Weed	6"	Plug	Staggered spacing
AT	22	Asclepias incarnata	Swamp Milkweed	6"	Plug	Staggered spacing
IV	22	Itis versicolor	Blue Flag	6"	Plug	Staggered spacing
SR	22	Solidago rigida	Stiff Goldenrod	6"	Plug	Staggered spacing
GRASSES						
TL	22	Typha latifolia	Common Cattail	6"	Plug	Staggered spacing
P/H/M	22	Panicum virgatum "Heavy Metal"	Heavy Metal Grass	6"	Plug	Staggered spacing
CP	22	Carex pennsylvanica	Pennsylvania Sedge	6"	Plug	Staggered spacing

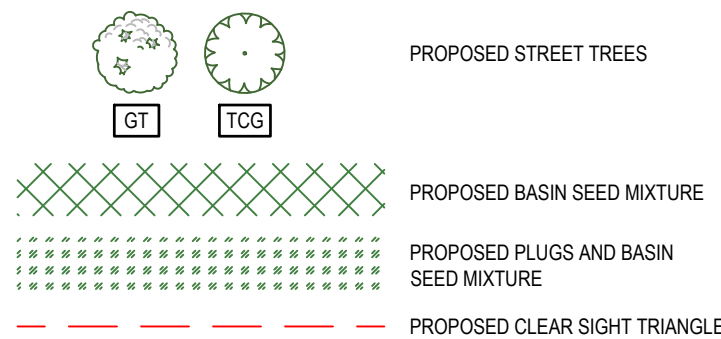
NOTES:
1. BASIN PLANT SPECIES SHALL BE EVENLY DISTRIBUTED ACROSS ALL BASIN BOTTOMS, WITH STAGGERED SPACING, PLANTED 10 FT O.C.
2. EACH BASIN SHALL HAVE APPROXIMATELY 430 PLUGS PER ACRE.

BASIN PLUG QUANTITIES

BASIN	QUANTITY
1	220 Plugs
TOTAL PLUGS	220



LEGEND



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP
LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JKL
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

CAD FILE: 07 - LANDSCAPE PLAN

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TITLE
LANDSCAPE PLAN
- AREA 'C'

SHEET NO.

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FOR PERMITTING PURPOSES ONLY. NOT FOR CONSTRUCTION.

1. THE LANDSCAPE PLAN AND DETAIL ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE PLAN, LIGHTING PLAN, GRADING AND DRAINAGE PLAN, AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. ALL EXISTING VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OF THE PROPOSED PLAN OF DEVELOPMENT. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION FROM DAMAGE DUE TO EQUIPMENT USE.
3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR. THE WARRANTY PERIOD BEGINS WHEN THE MAINTENANCE BOND FOR PUBLIC IMPROVEMENTS BEGINS. PLANT MATERIAL WHICH HAS DIED OR BECOME DISEASED OR PEST-RIDDEN SHALL BE REMOVED AND REPLACED WITHIN 6 MONTHS BY THE DEVELOPER AS REQUIRED TO MEET THE DESIGN OF THE ORIGINALLY APPROVED LANDSCAPE PLAN.
4. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE GRADING AND DRAINAGE PLAN AND LANDSCAPE SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCUMULATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE.
5. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, UTILITY LOCATIONS AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL OF OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO FINAL PLANTING.
6. UTILITY LOCATIONS SHOWN IN THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTORS NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
7. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3". MULCH SHALL BE TRIPLE-SHREDDED HARDWOOD BARK MULCH TO BE SELECTED BY OWNER.
8. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
9. COORDINATE PLANT MATERIAL LOCATIONS WITH ELECTRICAL UTILITIES. SEE SITE AND GRADING PLANS AND ALTA/CSM LAND TITLE SURVEY PLANS. SEE LIGHTING PLAN FOR LIGHTING LOCATION AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTORS NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.

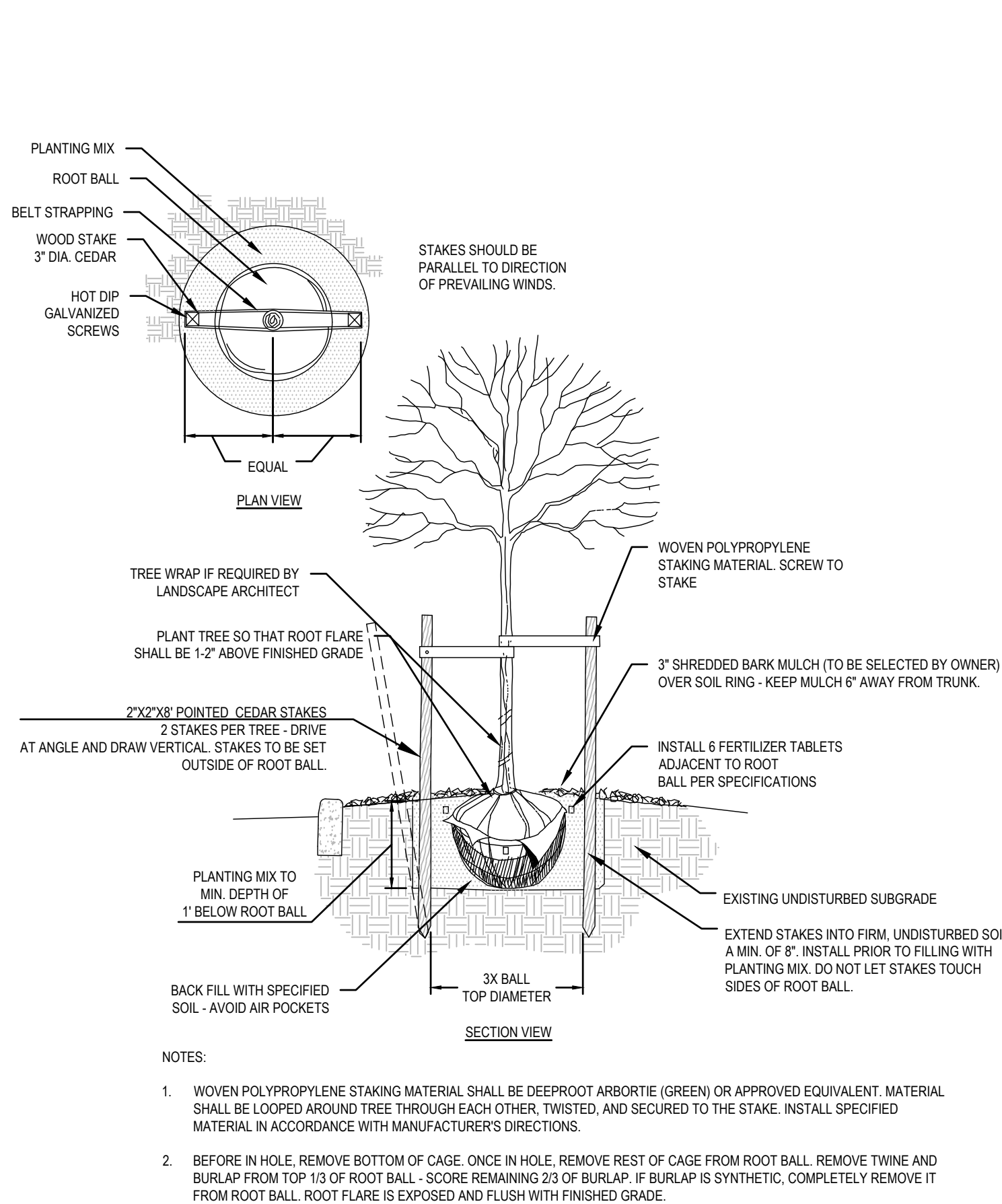
1. LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF RECORD OR THEIR DELEGATED REPRESENTATIVE TO PROPERLY MAINTAIN AND CARE FOR ANY LANDSCAPE SCREEN OR OTHER TREATMENT AS APPROVED BY THE NORTH LEBANON TOWNSHIP.
2. NEWLY PLANTED TREES AND SHRUBS REQUIRE DEEP, REGULAR WATERING THROUGHOUT THE FIRST GROWING SEASON AND AS SUCH, MAY REQUIRE SUPPLEMENTAL WATERING AFTER THE FIRST FULL GROWING SEASON. TREES AND SHRUBS SHOULD NOT REQUIRE SUPPLEMENTAL WATER EXCEPT IN EXTREMELY DRY GROWING SEASONS.
3. DECIDUOUS TREES THAT OVERHANG PEDESTRIAN OR VEHICULAR ROUTES SHALL BE MAINTAINED TO KEEP FREE FROM GROUND TO A HEIGHT OF 8 FEET OF BRANCHES AND FOLIAGE.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
5. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL PROVIDE MAINTENANCE SERVICES AND THAT SUCH SERVICES ARE PROVIDED IN A TIMELY MANNER.

1. PLANTING SOIL MIXTURE FOR ALL PLANTINGS SHALL CONSIST OF: 1 PART PEAT MOSS OR COMPOST, 3 PARTS TOPSOIL, "TRANSPLANT 1-STEP" FERTILIZER/ BIOSTIMULANT/ MYCORRHIZA INOCULATE AS MANUFACTURED BY ROOTS, INC. OR AN APPROVED EQUIVALENT, AND LIME AND OTHER AMENDMENTS AS INDICATED BY SOIL ANALYSIS.
12. PLANTING SOIL MIXTURE THE INFILTRATION/RETENTION FACILITY SHALL CONSIST OF: 30% TOPSOIL, 30% SAND, 20% STABILIZED ORGANIC COMPOST, 20% FINE SHREDED WOOD CHIPS, AND LIME AND OTHER AMENDMENTS AS INDICATED BY SOIL ANALYSIS. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES OF THE CERTIFIED BIO-RETENTION PLANTING MIX FOR REVIEW AND APPROVAL.
13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, ARISE FROM THE BASE, BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT BE USED TO REDUCE THE REQUIRED NUMBER OF TREES. ALL PARKING AREAS, SIDEWALKS, DRIVEWAYS, AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7 FEET IF THE TREE CALIPER IS 1 1/2" OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT.
14. ALL SLOPES OF 3:1 OR GREATER RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
15. TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4 INCHES. CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM THE TESTING OF TOPSOIL TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY REQUIREMENT FROM THE TOPSOIL TEST AT NO INCREASE IN CONTRACT PRICE.

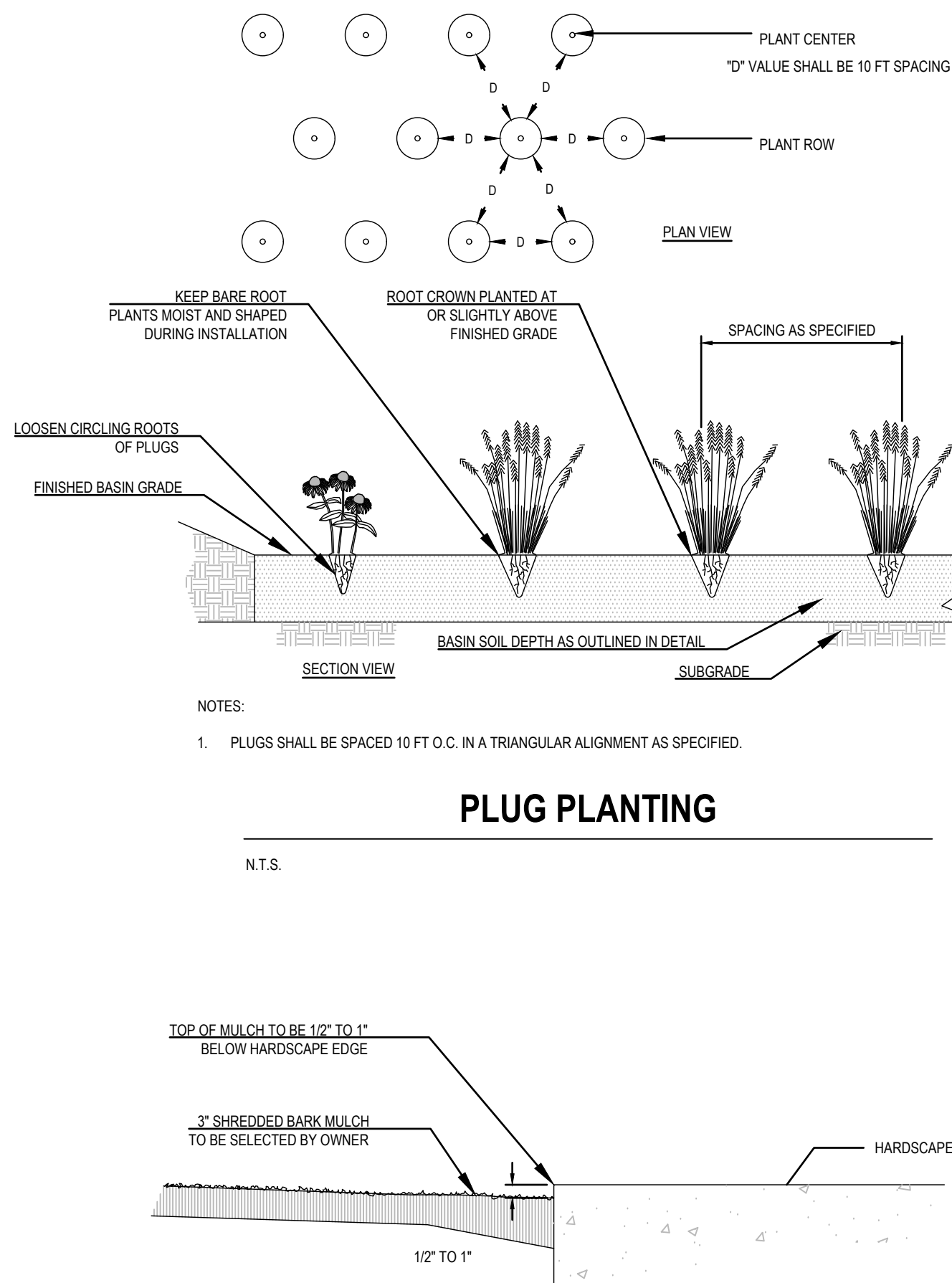
A. LAWN SEEDING/SOD MIXTURE:
SPECIES: 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15, UNLESS OTHERWISE APPROVED BY THE APPLICANT.

B. BASIN SEED MIXTURE		Native Detention Area Mix (ERNMX-183)	
Seeding Rate		20 lb per acre, or 1/2 lb per 1,000 sq ft	
Mix Type		Storm Water Management Facility Sites	
Species List	25%	Deertongue, 'Tioga' (Panicum clandestinum (Dichanthelium c.), 'Tioga')	
	25%	Fox Sedge, PA Ecotype (Carex vulpinoidea, PA Ecotype)	
	20%	Virginia Wildrye, PA Ecotype (Elymus virginicus, PA Ecotype)	
	20%	Switchgrass, 'Shawnee' (Panicum virgatum, 'Shawnee')	
	5%	Autumn Bentgrass, PA Ecotype (Agrostis perennans, PA Ecotype)	
	2%	Ticklegrass (Rough Bentgrass), PA Ecotype (Agrostis scabra, PA Ecotype)	
	1%	Soft Rush (Juncus effusus)	
	1%	Path Rush, PA Ecotype (Juncus tenuis, PA Ecotype)	
	1%	Green Bulrush, PA Ecotype (Scirpus atrovirens, PA Ecotype)	

Native Steep Slope Mix w/ Annual Ryegrass (ERNMX-181)	
Seeding Rate	60 lb per acre
Mix Type	Erosion Control & Revegetation
Species List	28.7% Sorghastrum nutans, PA Ecotype (Indiangrass, PA Ecotype)
	20.0% Lolium multiflorum (L. perenne var. italicum) (Annual Ryegrass)
	11.0% Andropogon gerardii, 'Niagara' (Big Bluestem, 'Niagara')
	10.0% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
	7.6% Tridens flavus (Purpletop)
	7.0% Elymus canadensis (Canada Wildrye)
	4.2% Schizachyrium scoparium (Andropogon scoparius), Fort Indiantown Gap-PA Ecotype (Little bluestem, Fort Indiantown Gap-PA Ecotype)
	3.0% Panicum virgatum, 'Shawnee' (Switchgrass, 'Shawnee')
	2.5% Echinacea purpurea (Purple Coneflower)
	2.0% Chamaecrista fasciculata (Cassia f.), PA Ecotype (Partridge Pea, PA Ecotype)
	1.0% Coreopsis lanceolata (Lanceleaf Coreopsis)
	1.0% Rudbeckia hirta, Coastal Plain NC Ecotype (Blackeyed Susan, Coastal Plain NC Ecotype)
	0.7% Lespedeza virginica, VA Ecotype (Slender Lespedeza, VA Ecotype)
	0.5% Aster lateriflorus (Symphyotrichum lateriflorum) (Calico Aster)
	0.5% Monarda fistulosa, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
0.3% Liatris spicata (Marsh (Dense) Blazing Star (Spiked Gayfeather))	



N.T.S.



N.T.S.



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

07 - LANDSCAPE PLAN

NO.	DATE	DESCRIPTION
1	11/09/2023	REVISED PER TYP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER TYP. ENG., AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/25/2024	REVISED PER TYP. ENGINEER AUTHORITY REVIEW COMMENTS
5	08/15/2024	REVISED PER TYP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	09/03/2024	REVISED PER TYP. ENGINEER REVIEW
8	07/14/2025	REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	09/15/2025	ISSUED FOR RECORDING

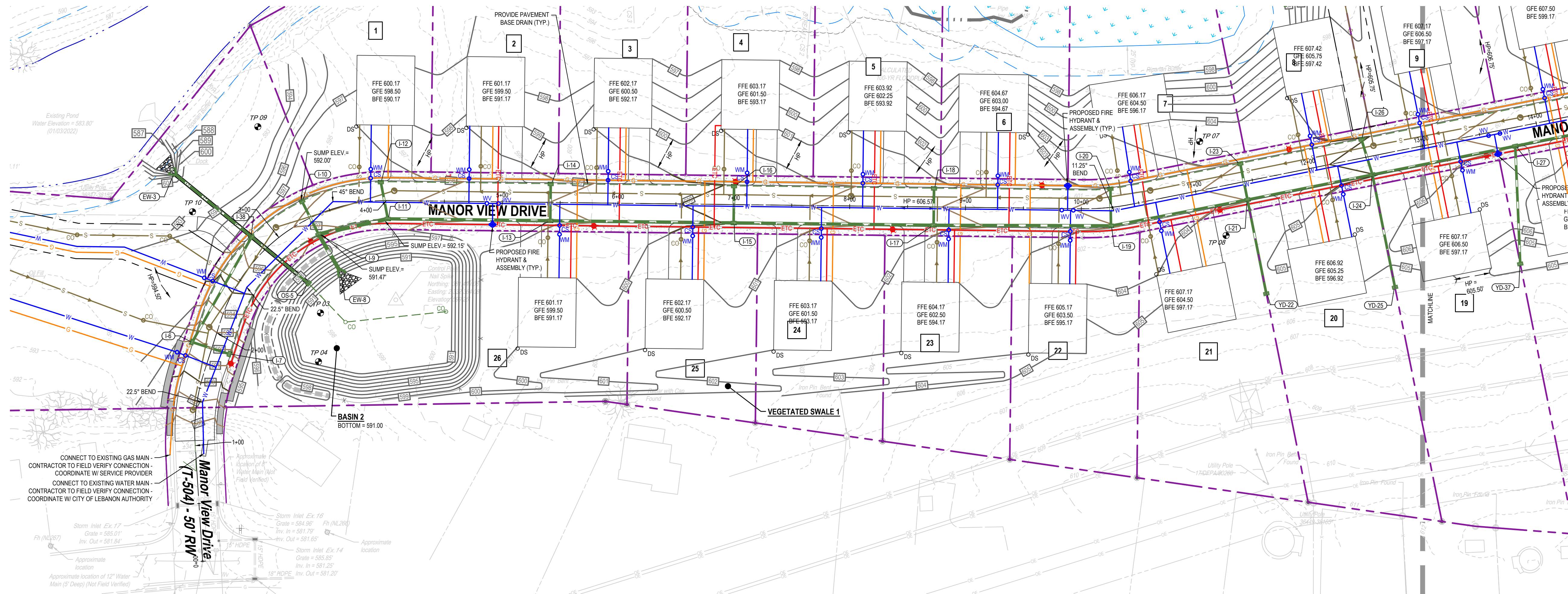
TITLE

**LANDSCAPE
DETAILS**

SHEET NO.

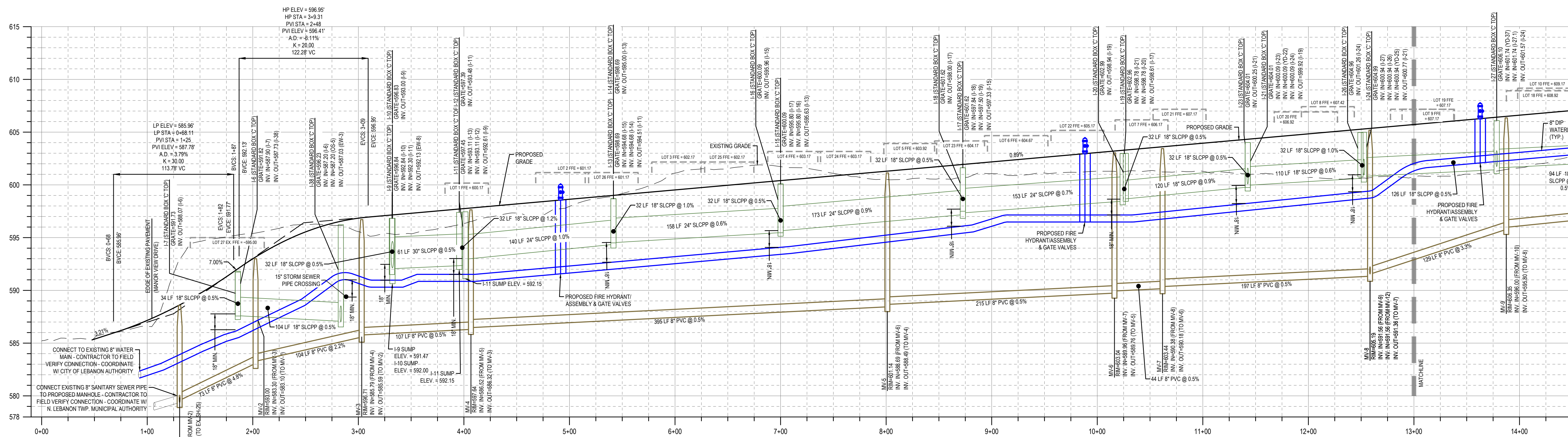
29 of 39

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	ALK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 05 - PROFILES	
REVISIONS	
NO.	DESCRIPTION
1	1/10/2023 REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024 REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024 REVISED PER TWP. ENGINEER REVIEW COMMENTS
4	03/25/2024 REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024 REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024 REVISED PER HDP SUBMISSION
7	07/14/2024 REVISED PER TWP. ENGINEER REVIEW
8	08/14/2024 REVISED PER RETAINING WALL DESIGN (BY OTHERS)
9	08/14/2024 ISSUED FOR RECORDING
TITLE	
PROFILES	
SHEET NO.	



MANOR VIEW DRIVE - PLAN VIEW

SCALE: 1"=50'

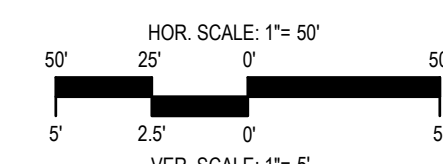


MANOR VIEW DRIVE

HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

CITY OF LEBANON AUTHORITY (WATER) NOTES

1. MAXIMUM WATER MAIN DEPTH: 3' 6" TO 6' 0"
2. MAXIMUM PIPE DEFLECTION SHALL BE PER 1/2 OF MANUFACTURE'S SPECIFICATIONS

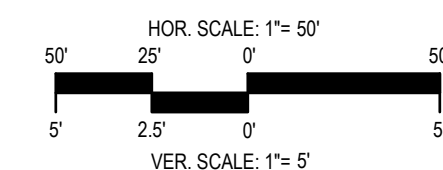
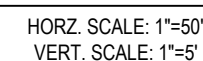
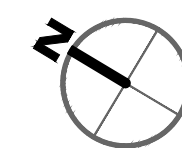
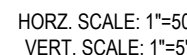




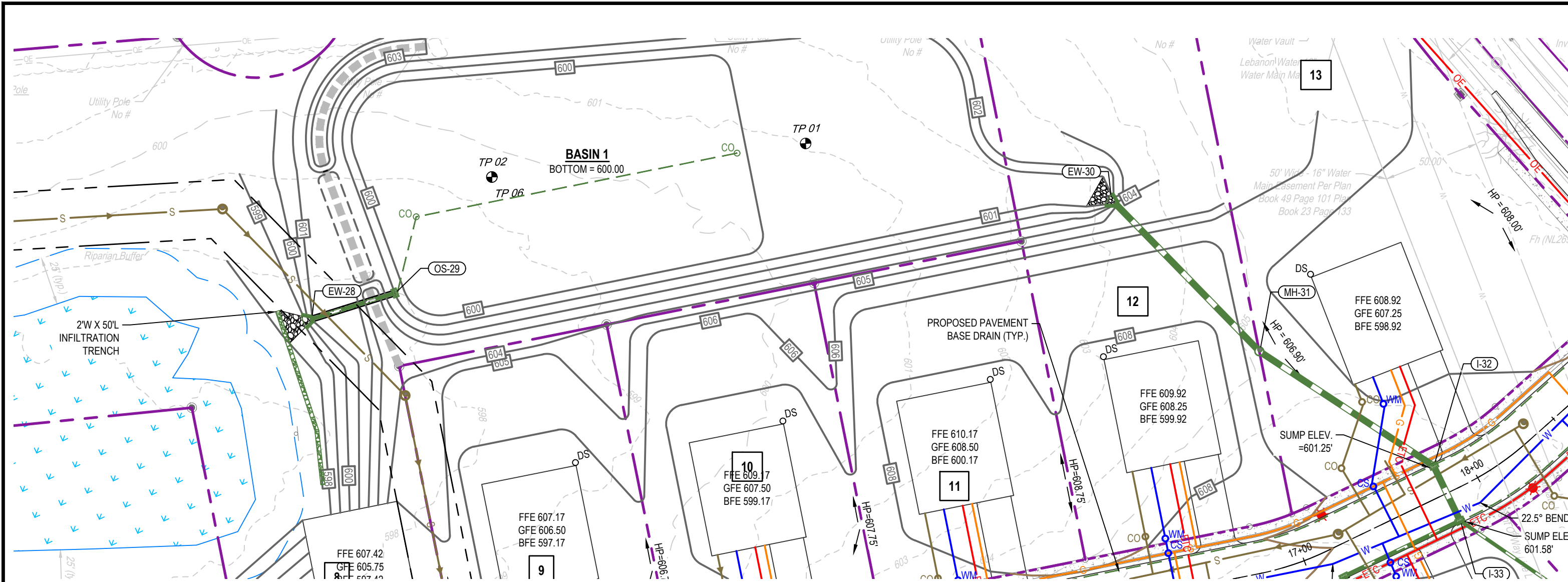
MANOR VIEW ESTATES
FOR
SUMMIT LAND DEVELOPMENT, LLC
NORTH LEBANON TOWNSHIP

DESCRIPTION
REVISED PER TWP ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
REVISED PER TWP ENG., AUTH. ENGINEER & WATER AUTH., REVIEW COMMENTS
REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
REVISED PER TWP ENGINEER REVIEW COMMENTS
REVISED PER TWP ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
REVISED PER HQ'S SUBMISSION
REVISED PER TWP ENGINEER REVIEW
REVISED PER RETAINING WALL DESIGN (BY OTHERS)

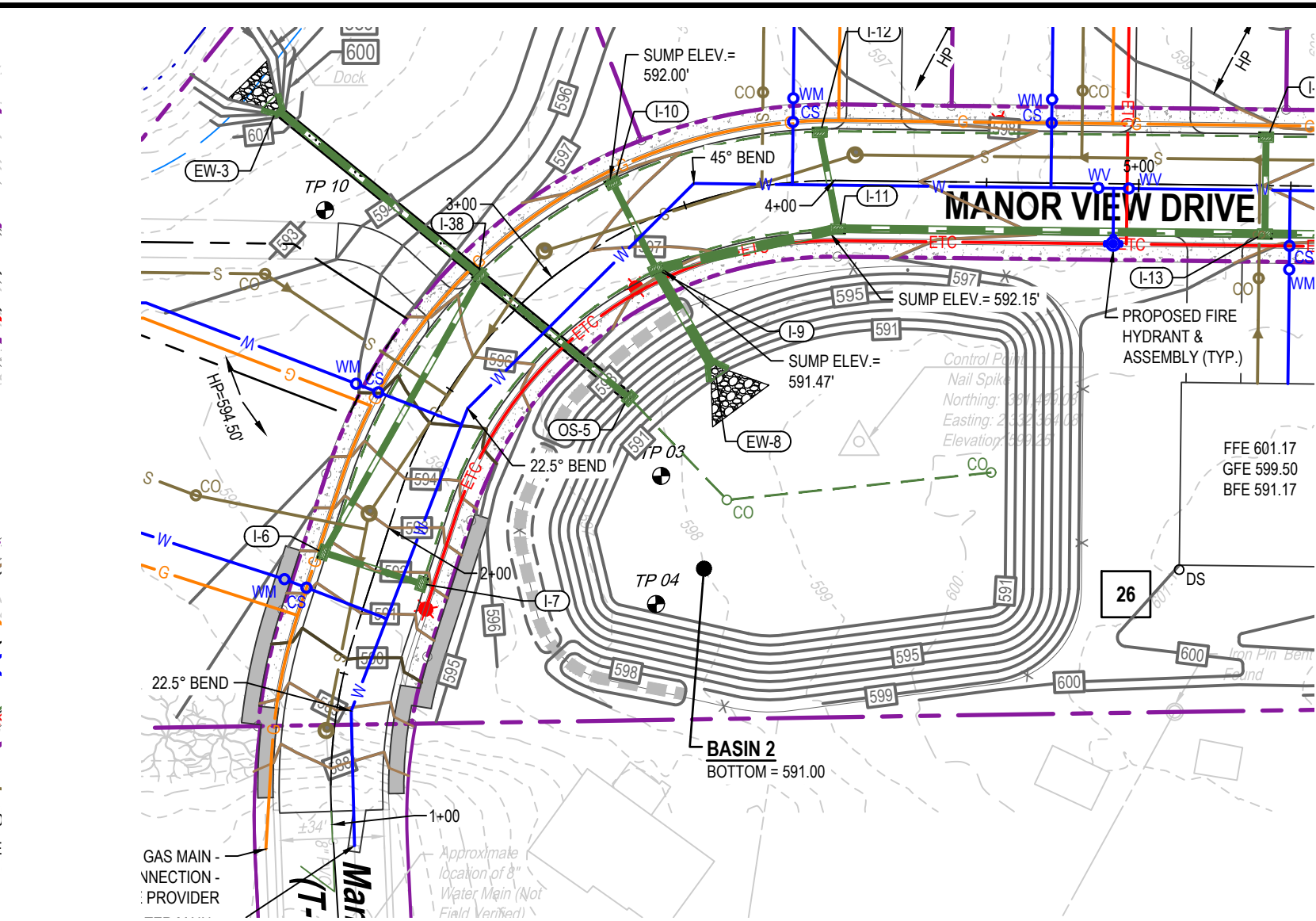
31 of 39



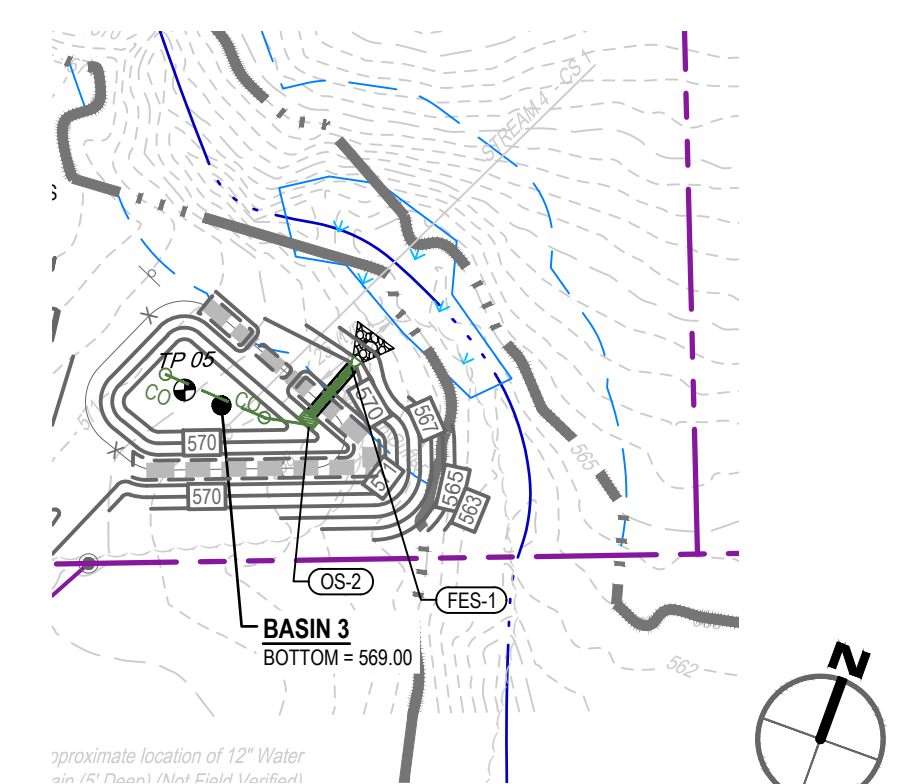
1. MAXIMUM WATER MAIN DEPTH: 3'-6" TO 6'-0"
2. MAXIMUM PIPE DEFLECTION SHALL BE PER 1/2 OF MANUFACTURE'S SPECIFICATIONS



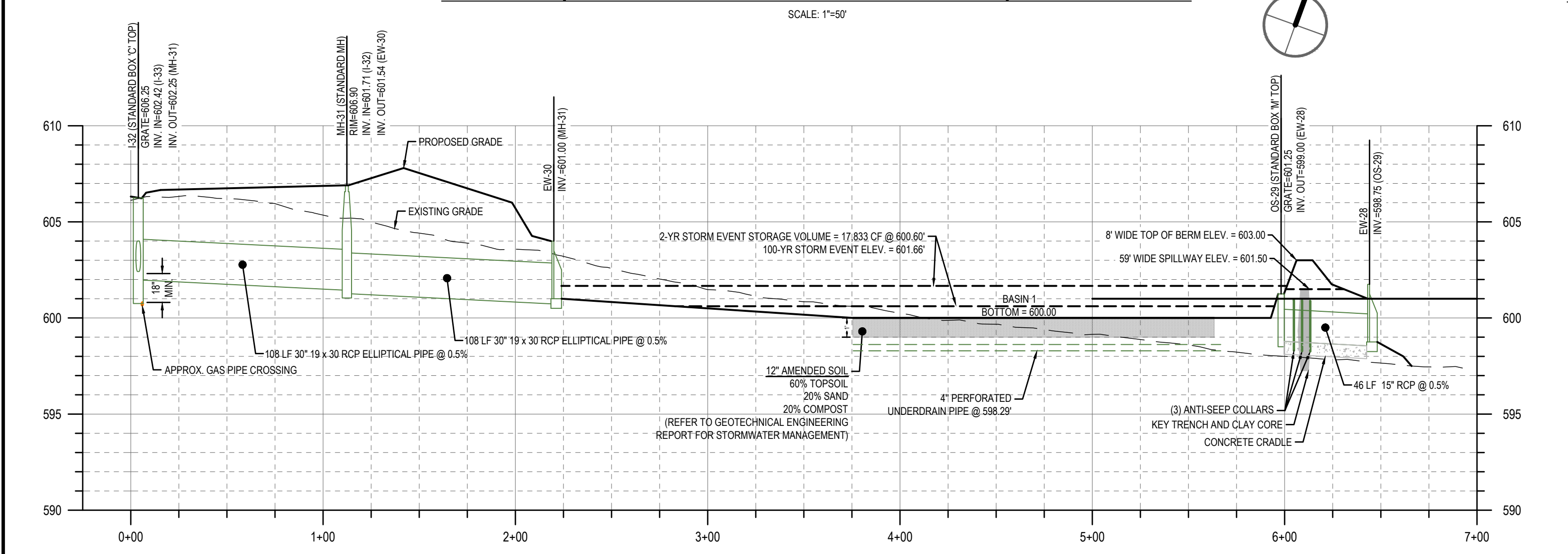
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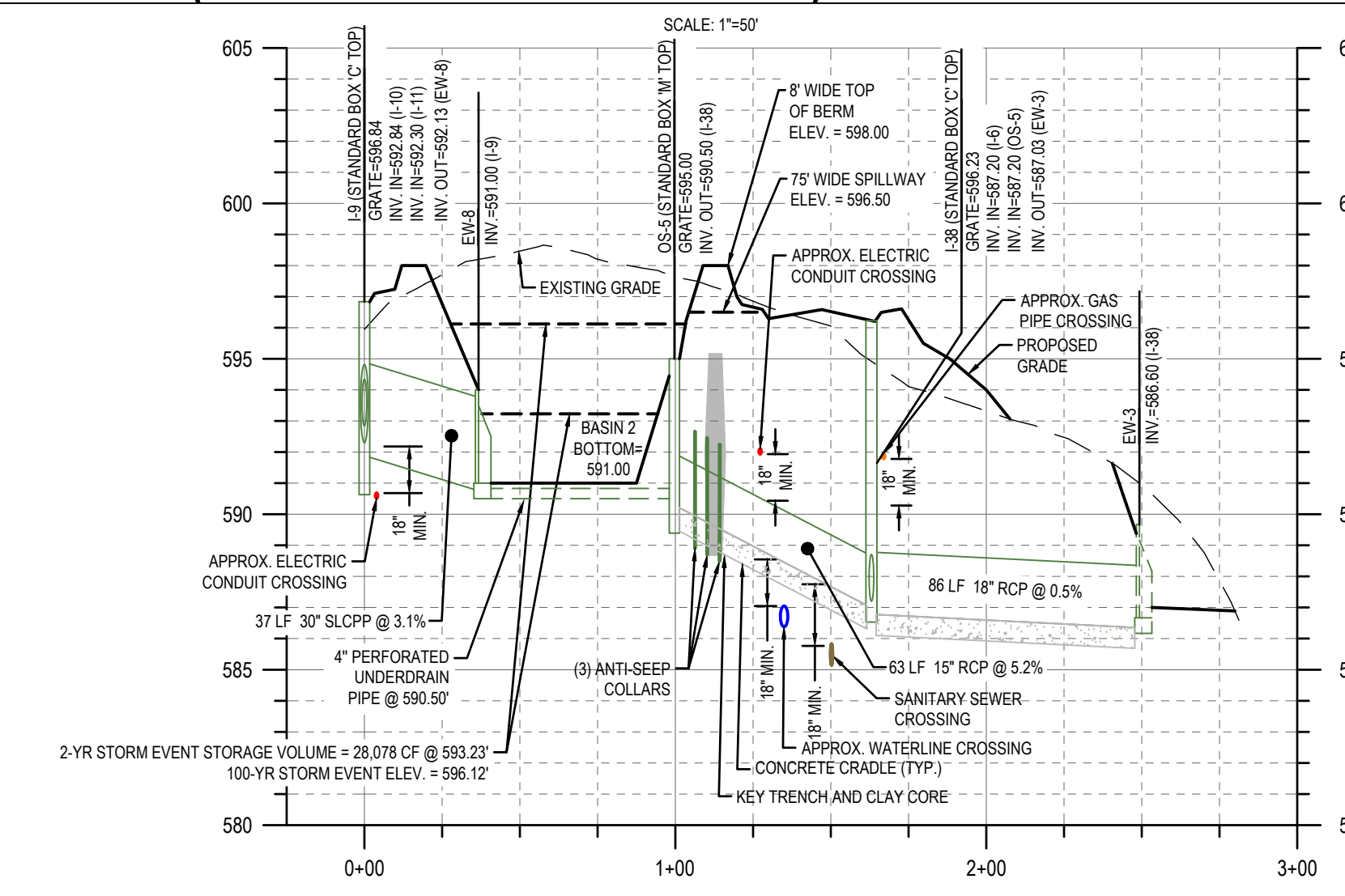
BASIN 2 (EW-8 TO I-9 & EW-3 TO OS-5) & EW-3 TO I-7 - PLAN VIEW



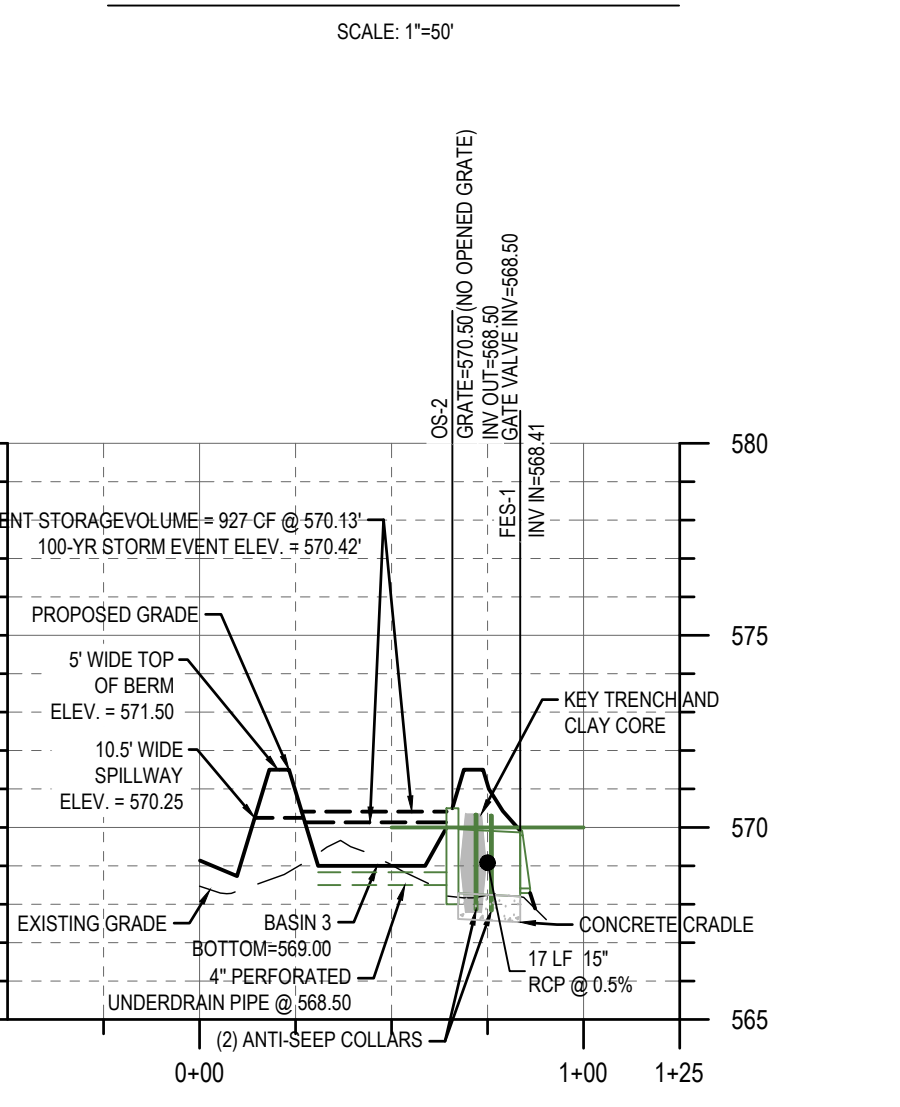
BASIN 3 - PLAN VIEW



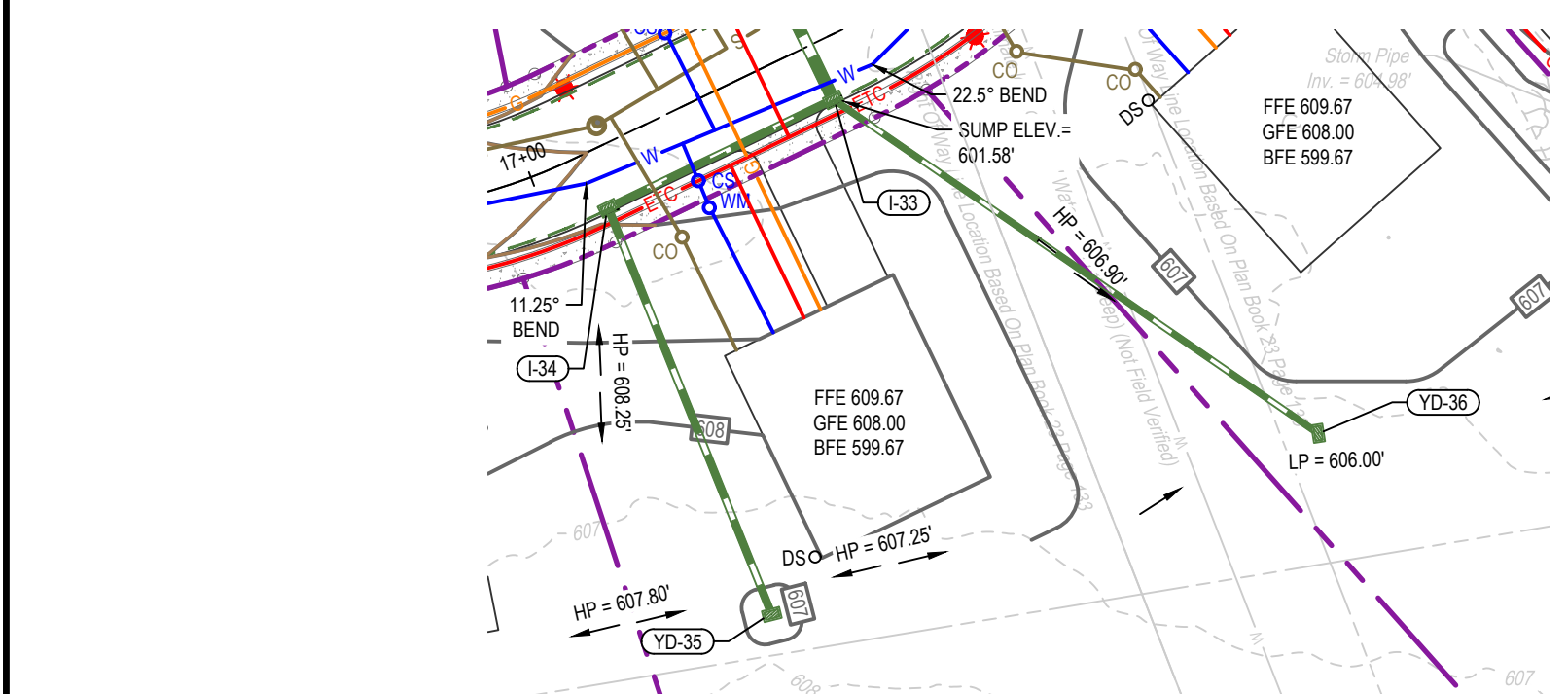
BASIN 1 (EW-30 TO I-32 & EW-28 TO OS-29)



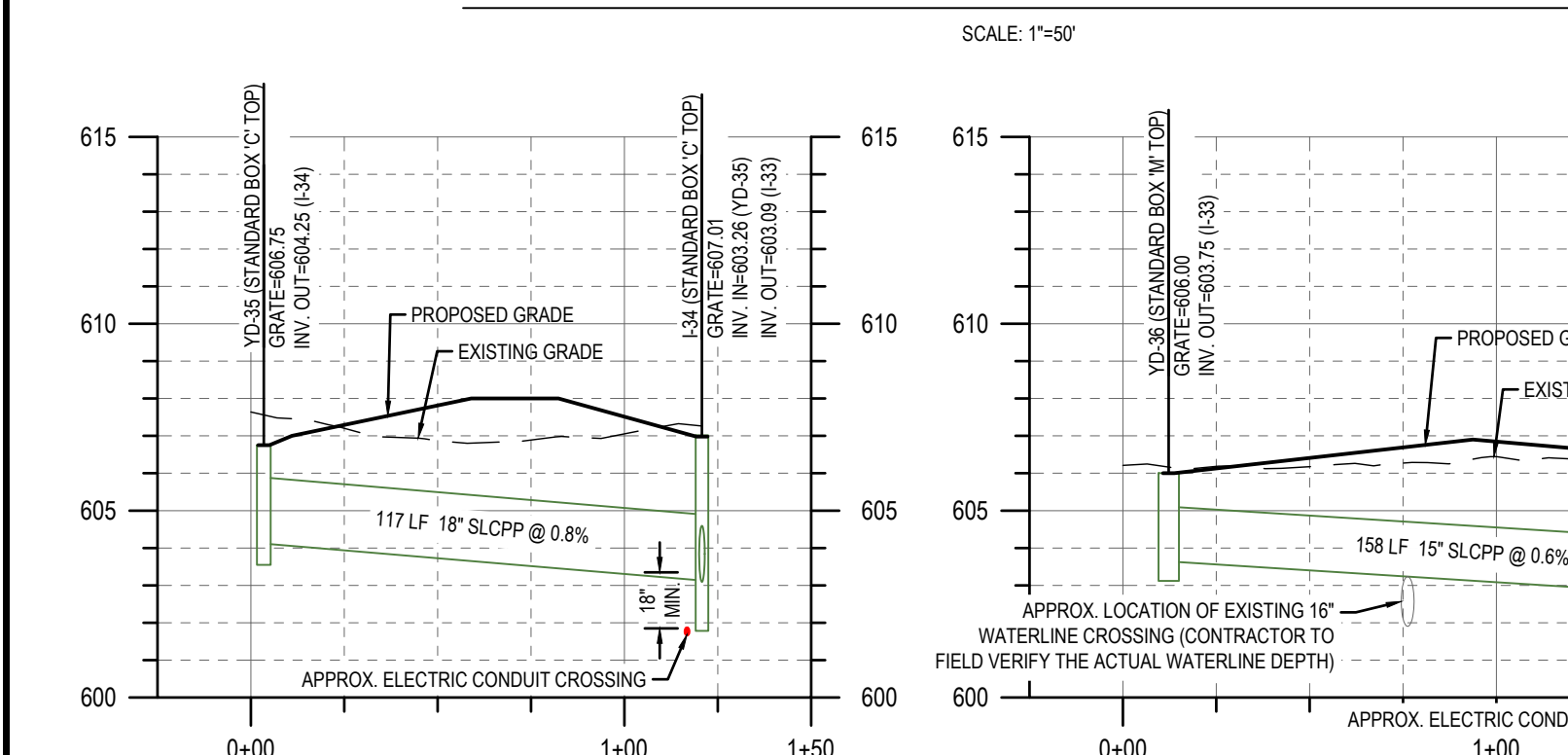
BASIN 2 (EW-8 TO I-9 & EW-3 TO OS-5)



BASIN 3
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"= 5'

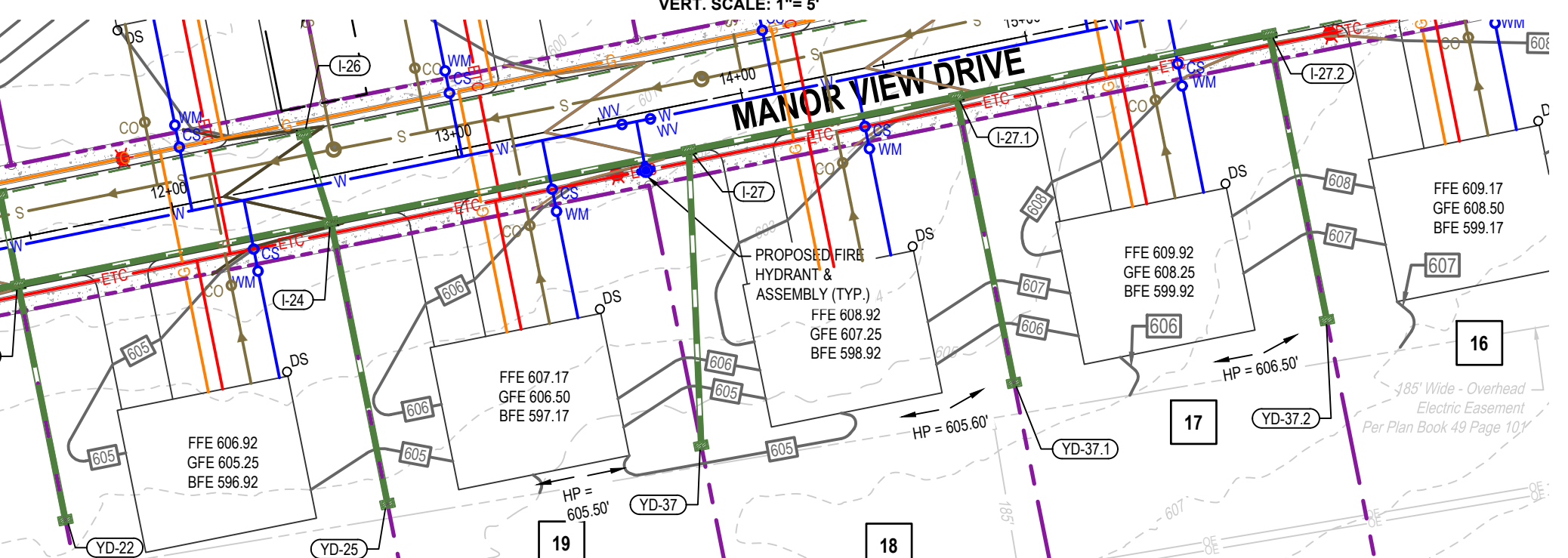


I-34 TO YD-35 & I-33 TO YD-36 - PLAN VIEW

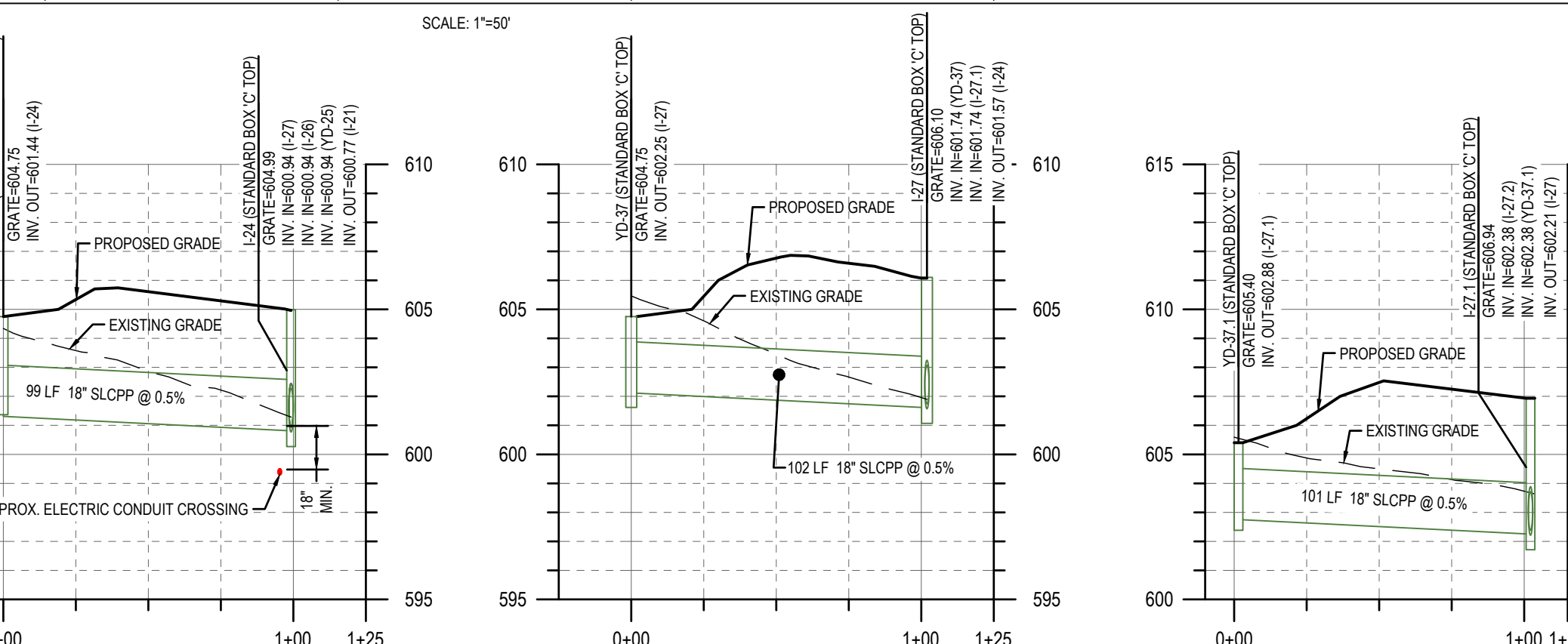


I-34 TO YD-35

I-33 TO YD-36



I-21 TO YD-22, I-24 TO YD-25, I-27 TO YD-37, I-27.1 TO YD-37.1, & I-27.2 TO YD-37.2 - PLAN VIEW



I-21 TO YD-22

I-24 TO YD-25

I-27 TO YD-37

I-27.1 TO YD-37.1

I-27.2 TO YD-37.2

INTEGRATED CONSULTING

430 NORTH FRONT STREET
WORMLEYSBURG, PA 17043
717.678.6750
www.integratedconsultingllc.com

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

FOR

MANOR VIEW ESTATES

SUMMIT LAND DEVELOPMENT, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	ALK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	06 - PROFILES

NO.	DATE	DESCRIPTION
1	11/01/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER TWP. ENG. AUTH. ENGINEER & WATER AUTH. REVIEW COMMENTS
3	03/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024	REVISED PER HDP SUBMISSION
7	07/11/2025	REVISED PER TWP. ENGINEER REVIEW
8	07/11/2025	REVISED PER RETAINING WALL DESIGN BY OTHERS
9	08/14/2025	ISSUED FOR RECORDING

TITLE

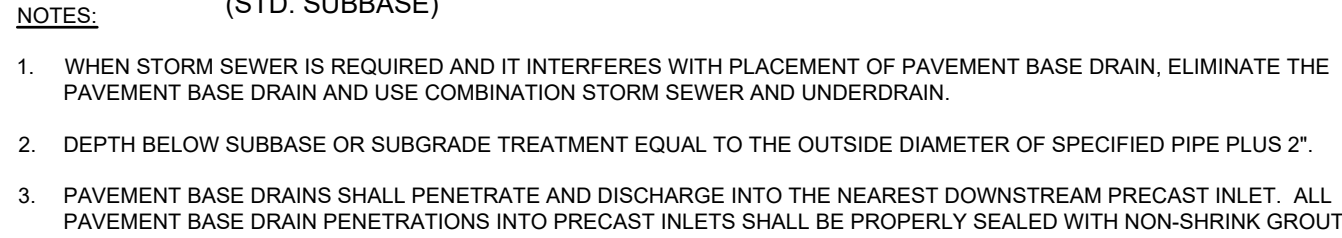
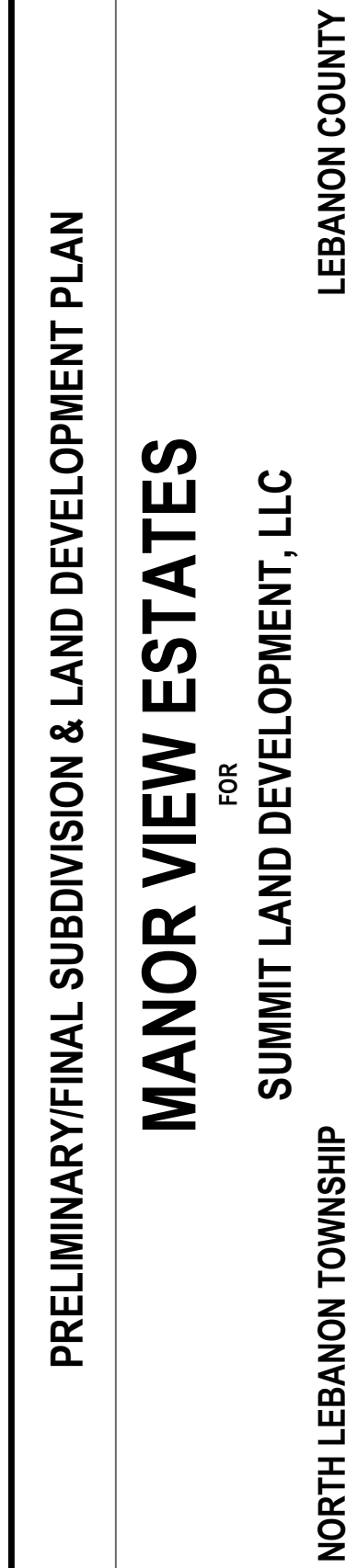
PROFILES

SHEET NO.

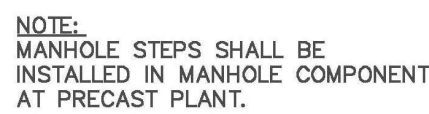
32 of 39

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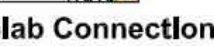
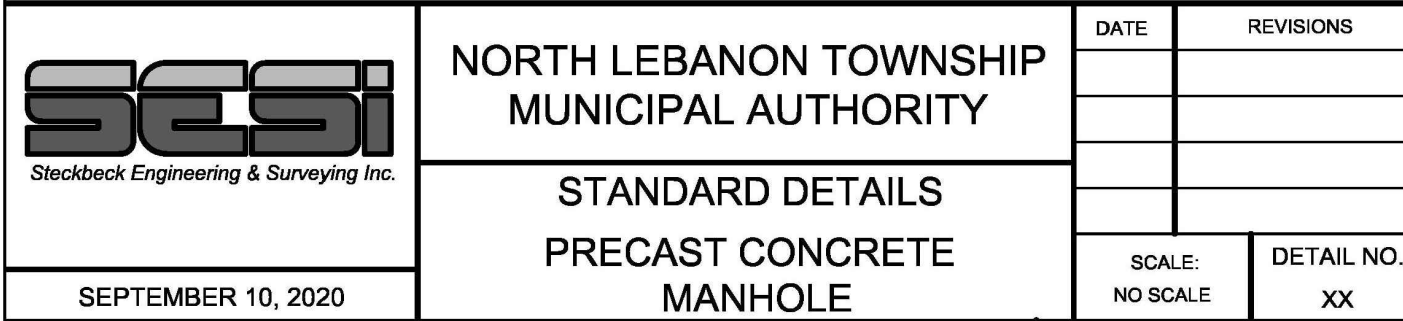
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N.T.S



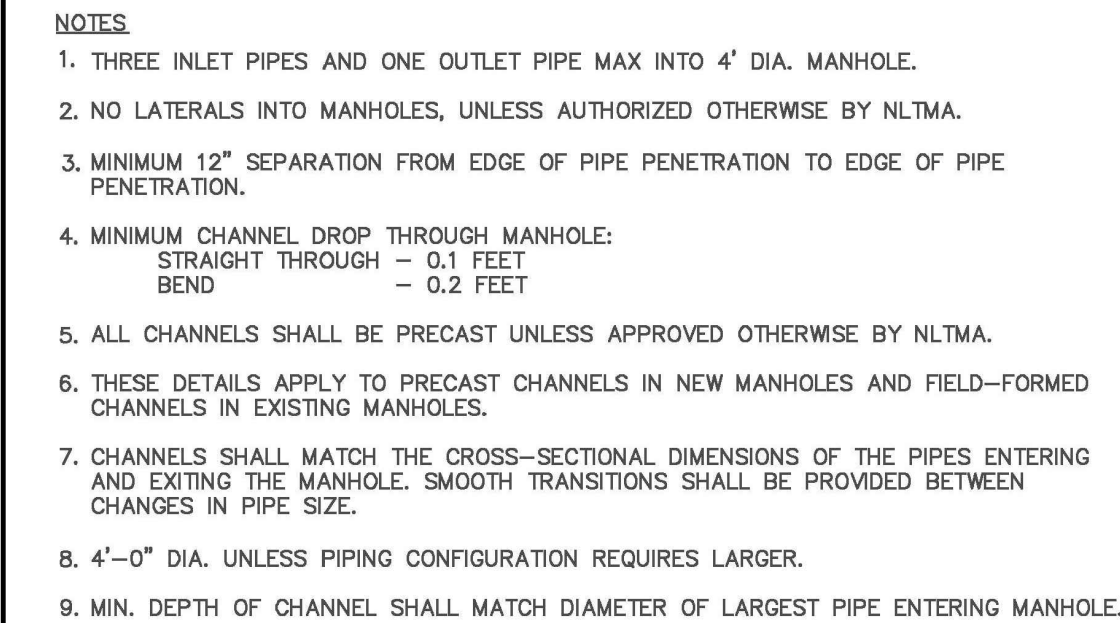
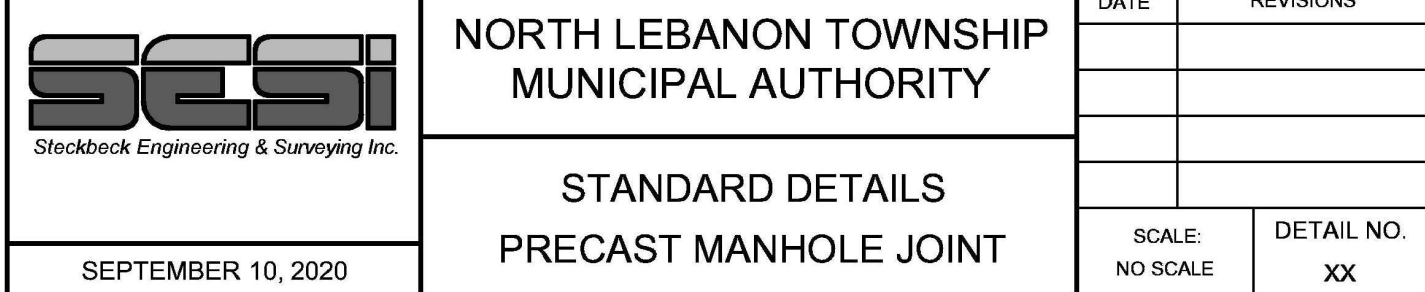
 SES <i>Streckbeck Engineering & Surveying Inc.</i>	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISION
	STANDARD DETAILS PRECAST MANHOLE JOINT			
			SCALE: NO SCALE	DETAIL NO. XX
SEPTEMBER 10, 2020				



N.T.S.



N.T.S.

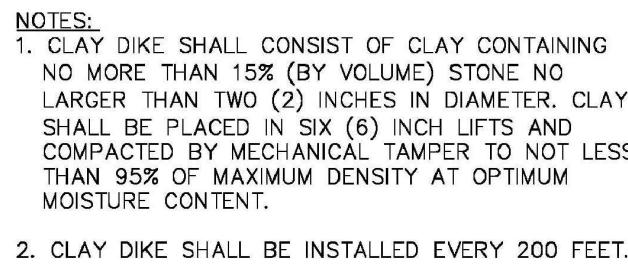


 Steckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE 		REVISIONS 	
	STANDARD DETAILS PRECAST MANHOLE BASE					
	SEPTEMBER 10, 2020		SCALE: NO SCALE		DETAIL NO. XX	

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 09 - DETAILS	

[illegible]

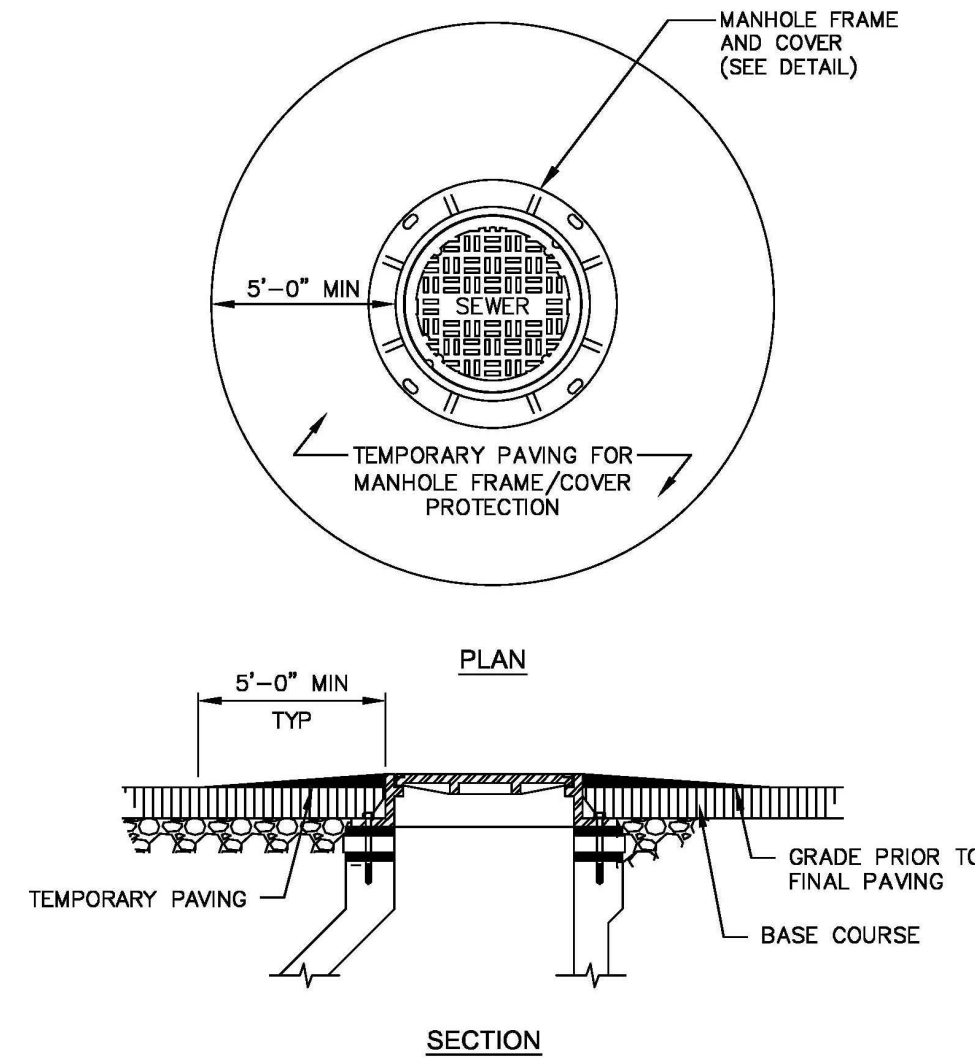
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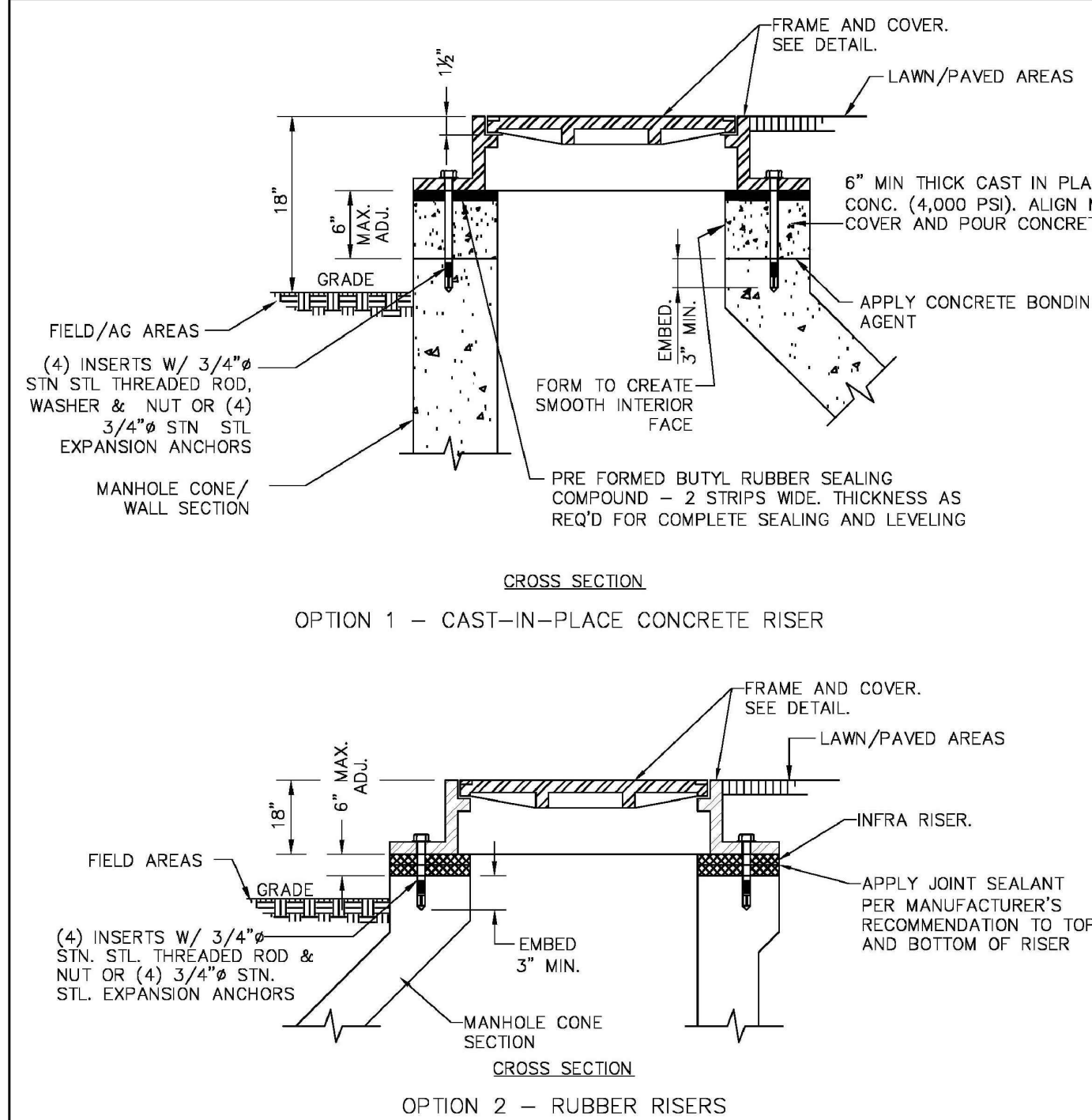
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	STANDARD DETAILS CLAY DIKE (TRENCH PLUG)			
SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX



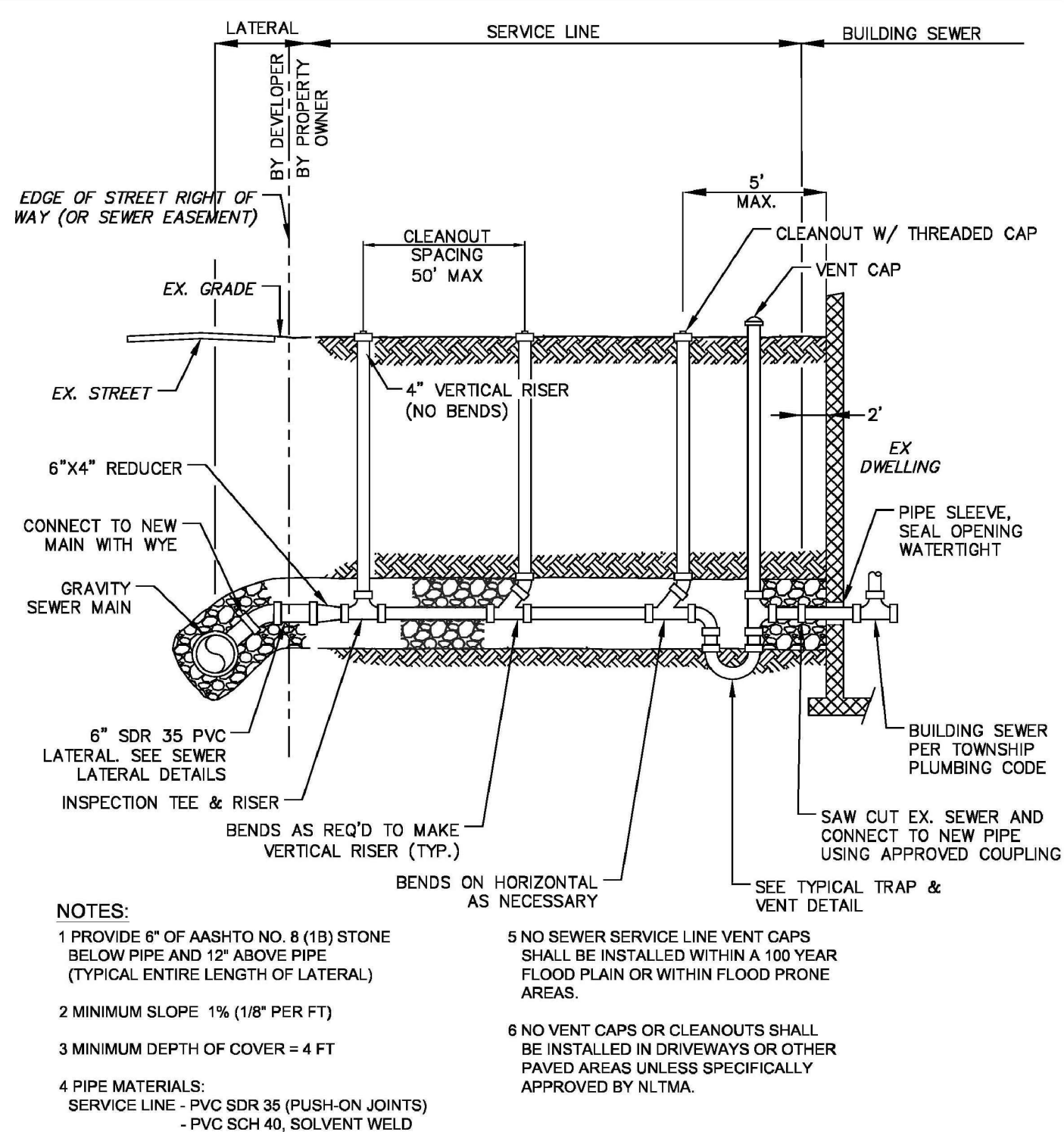
 Steeckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS	
	STANDARD DETAILS GRAVITY SEWER CROSSING UTILITIES		SCALE: NO SCALE		DETAIL NO. XX
SEPTEMBER 10, 2020					



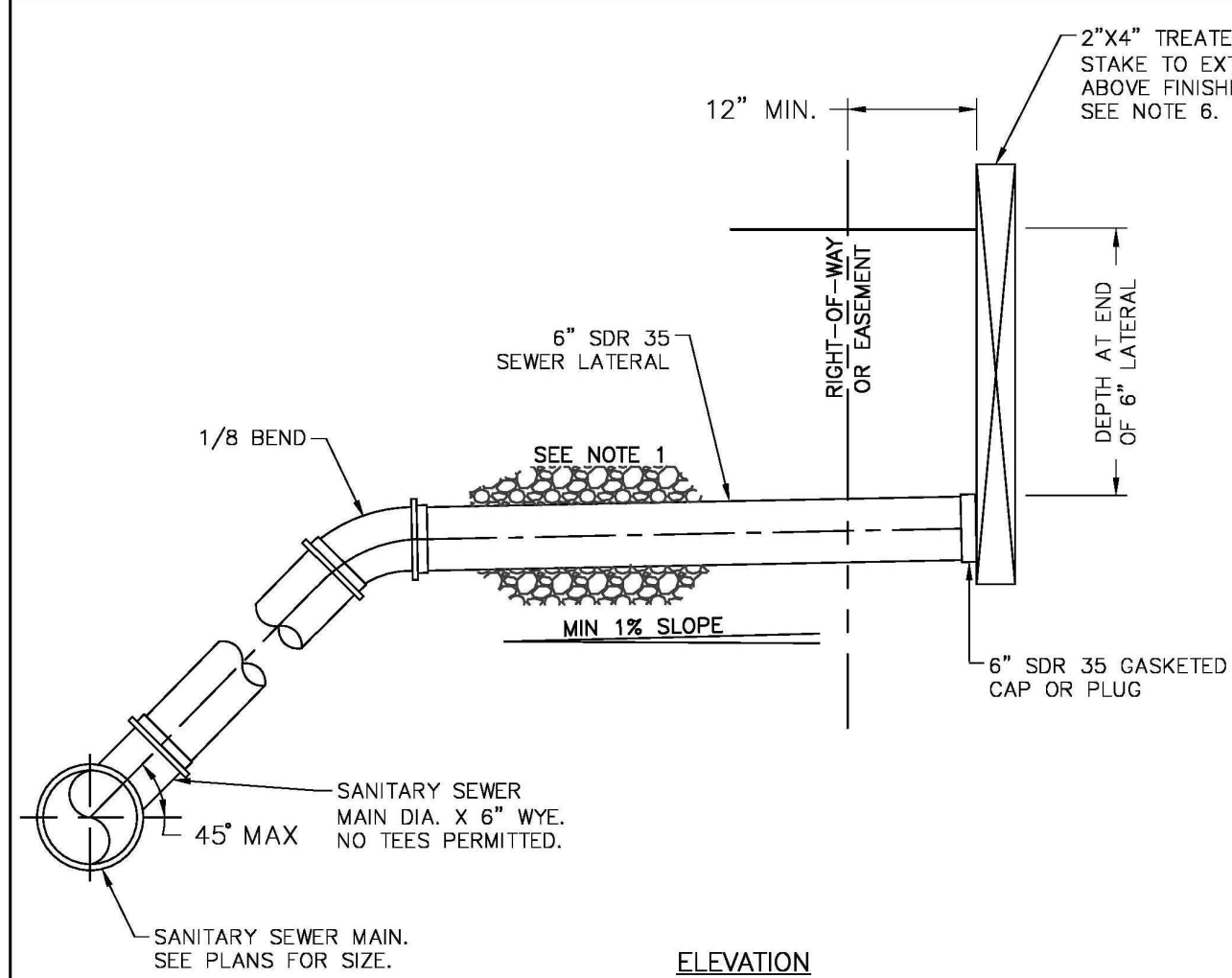
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SEPTEMBER 10, 2020	STANDARD DETAILS MANHOLE FRAME AND COVER PROTECTION		SCALE: NO SCALE	DETAIL NO. XX



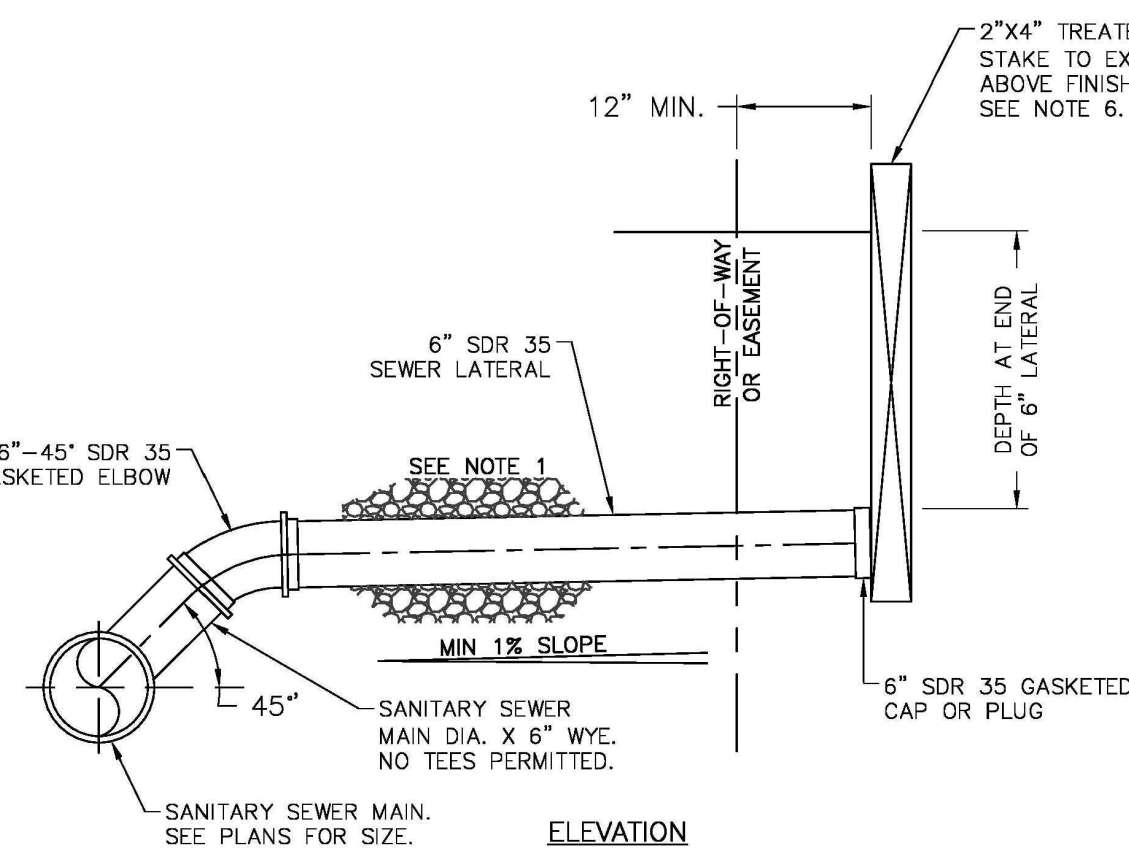
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SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX



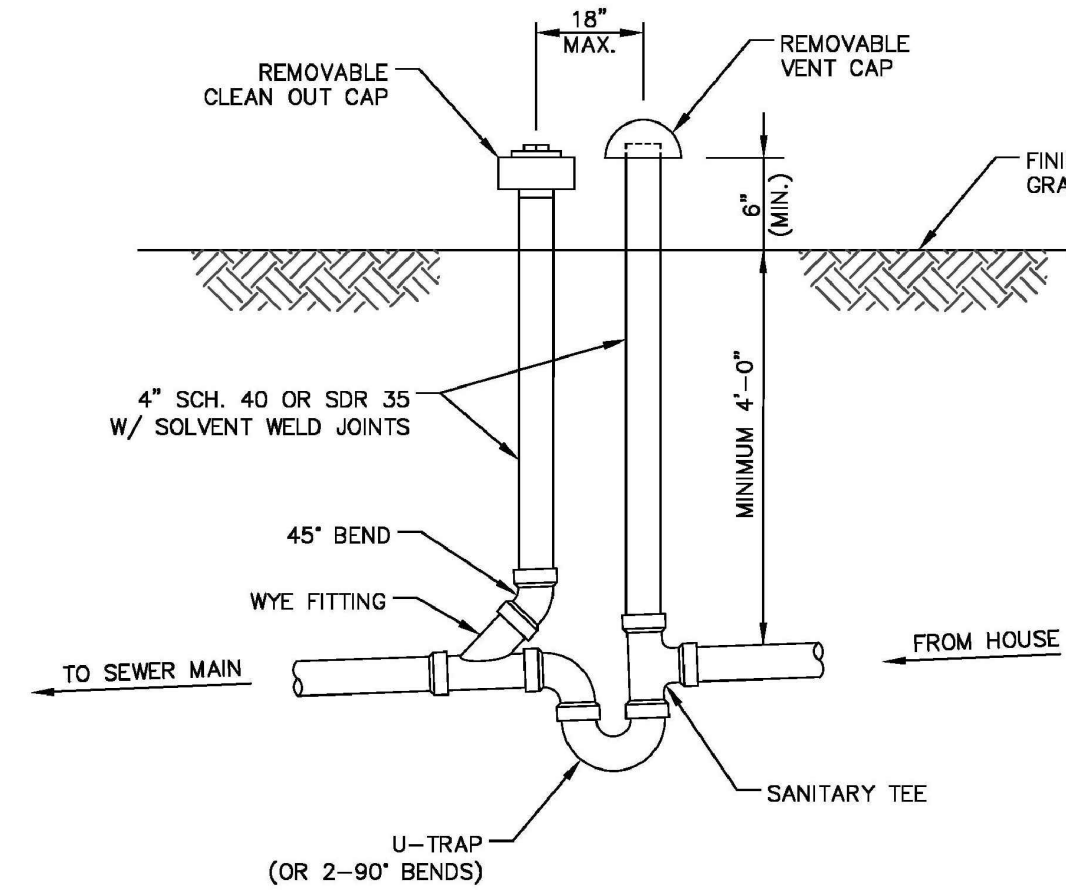
 Steckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS
	STANDARD DETAILS GRAVITY SERVICE LINE INSTALLATION DETAIL			
SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX



 Steckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE		REVISIONS	
	STANDARD DETAILS SEWER LATERAL DEEP INSTALLATION		SCALE: NO SCALE		DETAIL NO. XX	
SEPTEMBER 10, 2020						



 Steckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS
SEPTEMBER 10, 2020	STANDARD DETAILS SEWER LATERAL INSTALLATION		SCALE: NO SCALE	DETAIL NO. XX



 Stockbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS	
	STANDARD DETAILS TYPICAL TRAP & VENT ASSEMBLY				
SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX	

