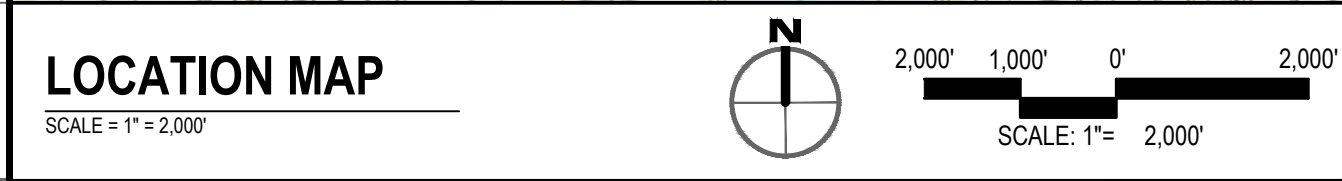
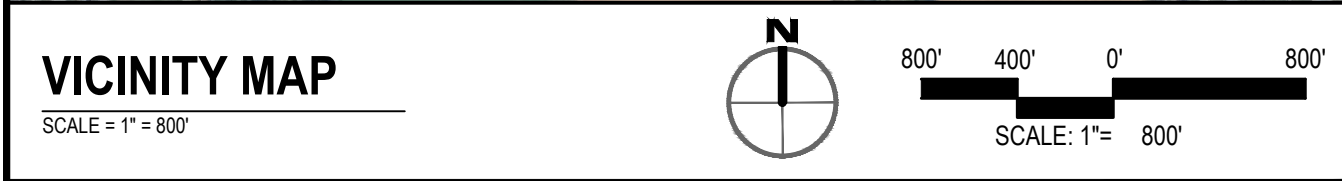


MANOR VIEW ESTATES

ESCAMBIA PROPERTIES, LLC

LEBANON COUNTY, PENNSYLVANIA



ISSUE DATE: AUGUST 11, 2023
REVISION DATE: NOVEMBER 9, 2023
JANUARY 23, 2024
FEBRUARY 05, 2024
MARCH 25, 2024
MAY 15, 2024
JUNE 5, 2024
SEPTEMBER 3, 2024



DISCLAIMER: THESE DRAWINGS ARE THE PROPERTY OF INTEGRATED DEVELOPMENT PARTNERS, LLC. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF INTEGRATED DEVELOPMENT PARTNERS, LLC.

AREA AND BULK REGULATIONS

LOCATION:	ALONG GRACE AVENUE, LEBANON, PA 17046			
PARCEL(S):	27-2331984-381362-0000 & 27-2332351-381959-0000			
ZONE:	RURAL RESIDENTIAL (RR) & LOW DENSITY RESIDENTIAL (R1) DISTRICTS			
USE:	SINGLE-FAMILY DETACHED DWELLINGS WITH PUBLIC WATER AND SEWER			
#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM LOT SIZE (NET)	\$27-503 (R1 DISTRICT)	15,000 SF (NET)	LOT 25: 16,110 SF (NET)
		\$27-403 (RR DISTRICT)	20,000 SF (NET)	LOT 27: 67,486 SF (NET)
		\$27-503 (R1 DISTRICT)	110 FT	110 FT
2	MINIMUM LOT WIDTH	\$27-403 (RR DISTRICT)	125 FT	242 FT
		\$27-503 & 403 (BOTH DISTRICTS)	30%	28.9% (LOT 25: 5,000 SF / 17,310 SF)
3	MAXIMUM LOT COVERAGE	\$27-503 & 403 (BOTH DISTRICTS)		
4	MINIMUM FRONT YARD	\$27-503 & 403 (BOTH DISTRICTS)	40 FT	40 FT
5	MINIMUM SIDE YARD	\$27-503 & 403 (BOTH DISTRICTS)	15 FT (EACH SIDE)	15 FT
6	MINIMUM REAR YARD	\$27-503 & 403 (BOTH DISTRICTS)	25 FT	46 FT
7	MAXIMUM BUILDING HEIGHT	\$27-503 & 403 (BOTH DISTRICTS)	2.5 STORIES OR 35 FT	TBD, WILL COMPLY

OFF-STREET PARKING REQUIREMENTS

#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM PARKING SPACE SIZE	\$27-1402	10 FT W X 20 FT L	COMPLIES
2	MINIMUM FRONT PARKING SETBACK	\$27-1404 G.(1)	25 FT FROM R/W LINES, HOWEVER, UP TO 50% OF THE REQD. FRONT YARD MAY BE UTILIZED FOR PARKING	COMPLIES
			10 FT FROM PROPERTY LINES	COMPLIES
3	MINIMUM SIDE/REAR PARKING SETBACK	\$27-1404 G.(2)	2 OFF-STREET SPACES, BUT NEED NOT BE IMPROVED W/ HARD SURFACE	2 OFF-STREET SPACES / DU (DRIVEWAYS)
4	MINIMUM # OF PARKING SPACES PER DWELLING UNIT	\$27-1405 E		

1) OFF-STREET PARKING SPACES SHALL BE DESIGNED SO THAT VEHICLES MAY HAVE ACCESS TO AND FROM SPACES WITHOUT MOVING ANOTHER VEHICLE.

SUPPLEMENTAL REGULATIONS

#	ITEM	SECTION	REQUIREMENTS	PROPOSED
1	MINIMUM LOCAL STREET R/W WIDTH	\$21 - EXHIBIT A-1	50 FT	50 FT
2	MINIMUM LOCAL STREET CARTWAY WIDTH	\$21 - EXHIBIT A-1	34 FT	34 FT
3	MINIMUM LOCAL STREET VERTICAL GRADE	\$21 - EXHIBIT A-1	10% MAX. & 0.75% MIN.	8% MAX. & 0.75% MIN.
4	MINIMUM LOCAL STREET HORIZONTAL CURVE	\$21 - EXHIBIT A-1	150 FT	150 FT
5	MINIMUM REVERSE CURVE TANGENT	\$21 - EXHIBIT A-1	50 FT	601 FT
6	MINIMUM SIGHT DISTANCE	\$21 - EXHIBIT A-1	150 FT	MEETS MINIMUM - REFER TO SITE PLAN
7	MINIMUM STREET INTERSECTION SEPARATION	\$21-513.4 A.(3)	150 FT BETWEEN LOCAL STREETS	> 250 FT
8	MINIMUM STREET CURB INTERSECTION RADI	\$21-513.4 A.(4)	30 FT ALONG MAJOR STREETS (GRACE AVENUE)	30 FT ALONG GRACE AVENUE
9	MINIMUM DRIVEWAY RADI (MINIMUM USE DRIVEWAY < 45 MPH)	\$21-608.1	15 FT MAX. & 5 FT MIN.	15 FT MAX. & 5 FT. MIN. - REFER TO SITE PLAN

SITE DATA

GROSS TRACT AREA: 35.56 AC. (PERRY) + 3.19 AC. (RIDILLA) = 38.75 AC. TOTAL
NET TRACT AREA (NO STREET R/W): 35.06 AC. (PERRY) + 3.09 AC. (RIDILLA) = 38.17 AC. TOTAL
EXISTING NUMBER OF DWELLING UNITS: 2 EXISTING DWELLING UNITS TO REMAIN
PROPOSED NUMBER OF DWELLING UNITS: 28 PROPOSED DWELLING UNITS
EXISTING NUMBER OF LOTS: 2 EXISTING LOTS TO BE SUBDIVIDED
PROPOSED NUMBER OF SUBDIVIDED LOTS: 30 LOTS
PROPOSED DENSITY*: 30 DWELLING UNITS / 32.53 ACRES = 0.92 UNITS / ACRE
WATER SERVICE: PUBLIC
SANITARY SEWER SERVICE: PUBLIC
RIGHT-OF-WAY TO BE DEDICATED: 89,681 SF / 2.06 AC.
* PROPOSED DENSITY SHALL BE CALCULATED W/ NET LOT AREAS - REFER TO "LOT AREAS" TABLE ON THE SUBDIVISION PLAN SHEET FOR THE NET AREA CALCULATIONS.

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH NORTH LEBANON TOWNSHIP STANDARDS AND SPECIFICATIONS, LEBANON COUNTY STANDARDS AND SPECIFICATIONS, PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
- THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA811 72 HOURS BEFORE COMMENCEMENT OF WORK AT PA (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- IF PLANS AND SPECIFICATIONS ARE IN CONFLICT, THE MOST STRINGENT SHALL APPLY.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM LEBANON COUNTY AND NORTH LEBANON TOWNSHIP ALL CONSTRUCTION PERMITS, INCLUDING ANY PENNDOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND NORTH LEBANON TOWNSHIP.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SEWER. CONNECTION TO PUBLIC SANITARY SEWER IS REQUIRED.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY VORTEX ENVIRONMENTAL MAPPING.
- ALL CONSTRUCTION WITHIN A PENNDOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO §420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.
- PLAN APPROVAL BY THE TOWNSHIP DOES NOT GUARANTEE THAT A PENNDOT PERMIT WILL BE ISSUED.
- THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR ANY ATTORNEY FEES WHERE THE ATTORNEY IS ENGAGED ON BEHALF OF THE TOWNSHIP/AUTHORITY RELATING TO THE REVIEW OF THE SUBDIVISION PLANS OR LAND DEVELOPMENT PLANS THAT ARE SUBMITTED TO THE TOWNSHIP/AUTHORITY. THESE FEES ARE IN ADDITION TO SUBMISSION FEES CHARGED BY THE TOWNSHIP AND AUTHORITY. PAYMENT OF ALL INVOICES IS DUE AND PAYABLE WITHIN 30 DAYS OF RECEIPT BUT IN ALL CASES PRIOR TO PLAN APPROVAL BY THE BOARD OF SUPERVISORS. ANY QUESTIONS ON INVOICES MUST BE REPORTED TO THE TOWNSHIP/AUTHORITY IN WRITING WITHIN 10 DAYS OF RECEIPT OF THE BILL.
- A STREET CUT PERMIT WILL BE REQUIRED FROM NORTH LEBANON TOWNSHIP FOR THE CONNECTION TO THE SANITARY SEWER / PUBLIC WATER / NEW STREET / STORMWATER / ETC. FINANCIAL SECURITY IS REQUIRED TO GUARANTEE PROPER RESTORATION OF ALL EXISTING TOWNSHIP STREETS AS PART OF THE STREET CUT PERMIT. SUCH FINANCIAL SECURITY SHALL BE INCLUDED AS A LINE ITEM WITH FINANCIAL SECURITY FOR THE OVERALL DEVELOPMENT.
- A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER AND ROADMASTER IS REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- REFER TO THE DECLARATION OF COVENANTS AND RESTRICTIONS, RECORDED ON 03/06/2023 (JPL NO. 27-2331984-381362-0000) FOR EXISTING COVENANTS AND/OR RESTRICTIONS THAT RUN WITH THE LAND.

CITY OF LEBANON AUTHORITY WATER NOTES

- CONTACT INFORMATION FOR THE CITY OF LEBANON AUTHORITY
CITY OF LEBANON AUTHORITY, 2311 RIDGEVIEW ROAD, LEBANON, PA 17042
BOB SENTZ, BSSENTZ@LEBANONAUTHORITY.ORG, 717-272-2841
- WATER SYSTEMS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CURRENT CITY OF LEBANON AUTHORITY "GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION".
- THE CONSTRUCTION OF WATER MAINS REQUIRES A WATER MAIN EXTENSION AGREEMENT BETWEEN THE DEVELOPER AND THE AUTHORITY.
- EXISTING WATER MAINS ARE SHOWN AT AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE ACTUAL LOCATIONS AND VERIFY WATER MAIN SIZES AND DEPTHS AT UTILITY CROSSINGS, EXCAVATED AREAS, AND TIE-IN LOCATIONS.
- WATER SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE WATER TAPS.
- FIRE SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE FIRE LINE TAP. FIRE LINE AGREEMENT ALSO REQUIRED.
- ANY WORK WITHIN PENNDOT RIGHT-OF-WAY REQUIRES A PENNDOT HIGHWAY OCCUPANCY PERMIT (HOP). THE PERMIT TYPICALLY IS REQUIRED TO BE IN THE AUTHORITY'S NAME AND THE AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE A FINANCIAL GUARANTEE UNTIL PENNDOT SIGNS OFF ON THE PERMIT AFTER CONSTRUCTION IS COMPLETE.
- ANY WORK WITHIN MUNICIPAL RIGHT-OF-WAYS MIGHT REQUIRE A MUNICIPAL PERMIT. THE PERMIT SHALL BE ACQUIRED IN THE CONTRACTOR'S NAME.
- THE AUTHORITY SHALL APPROVE ALL MATERIALS PRIOR TO CONSTRUCTION.
- A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE AUTHORITY AND WATERLINE CONSTRUCTION CONTRACTOR.
- THE CITY OF LEBANON AUTHORITY WILL INSPECT THE WATER MAIN INSTALLATION AND ASSIST IN COORDINATING TESTING. THERE ARE FEES CHARGED TO THE DEVELOPER / CONTRACTOR FOR INSPECTION SERVICES. WATER MAIN CONSTRUCTION AND FEES SHALL BE COORDINATED WITH THE AUTHORITY.
- THE PROPERTY OWNER / DEVELOPER SHALL INSTALL THE WATER TAP AND SERVICE LINE TO THE CURB STOP UNDER THE INSPECTION OF THE CITY OF LEBANON AUTHORITY. THE PROPERTY OWNER IS RESPONSIBLE FOR THE WATER SERVICE AFTER THE CURB STOP. THE CITY OF LEBANON AUTHORITY WILL INSTALL THE WATER METER WITHIN THE BUILDING OR AN APPROVED METER PIT AS INSTRUCTED. CONTACT THE CITY OF LEBANON AUTHORITY METER DEPARTMENT FOR METER INSTALLATION, 2200 WEST CHESTNUT STREET, 717-273-2966.
- METER PIT INSTALLATIONS ARE MANDATORY. ANY EXCEPTION TO METER PIT INSTALLATION IS AT THE DISCRETION OF THE CITY OF LEBANON AUTHORITY. METER PIT T O B E I N S T A L L E D WITHIN 10 FEET OF THE CURB STOP. METER PITS SHALL BE APPROVED BY THE METER DEPARTMENT PRIOR TO INSTALLATION.
- SEWER AND WATER MAINS SHALL HAVE A MINIMUM OF AN 18-INCH SEPARATION, OR THE SEWER MAIN SHALL BE CONCRETE ENCASED IN THE AREA WHERE THE 18-INCH SEPARATION CANNOT BE MAINTAINED.
- WATER MAINS AND LATERALS THAT ARE LESS THAN 18-INCHES FROM A STORM SEWER OR CULVERT SHALL BE INSULATED WITH A FOAM WRAP.
- AT THE CONCLUSION OF THE INSTALLATION OF THE WATER SYSTEM AND SERVICE LINES, AND SUCCESSFUL TESTING THEREOF, THE WATER SYSTEM WILL BE OFFERED FOR DEDICATION TO THE CITY OF LEBANON AUTHORITY.
- ALL EXISTING WATER SERVICE TERMINATIONS SHALL BE AT THE WATER MAIN BY TURNING OFF THE CORPORATION STOP AT THE MAIN AND THE SERVICE LINES CUT AND CRIMPED WITHIN ONE FOOT OF THE CORPORATION STOP. ALL WORK, INCLUDING SAW CUTTING, EXCAVATION, LATERAL TERMINATION, BACKFILL, AND PAVING, SHALL BE DONE BY THE CONTRACTOR AND INSPECTED BY THE CITY OF LEBANON AUTHORITY.

ROADWAY COMPACTION NOTES

- SUBGRADE: COMPACT SUBGRADE TO NOT LESS THAN 100% OF THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY. THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY SHOULD BE DETERMINED BY THE PENNSYLVANIA TEST METHOD (PTM) NO. 105 - METHOD B, PTM NO. 112, OR PTM NO. 402 FOR EACH 5,000 SQUARE YARDS OR LESS OF COMPLETED SUBGRADE. WHEN THE MATERIAL IS TOO COARSE (MORE THAN 20% RETAINED ON A 3/4-INCH SIEVE) TO UTILIZE THE PTM METHODS, COMPACTION SHOULD BE DETERMINED BASED ON THE NONMOVEMENT OF THE SUBGRADE MATERIAL UNDER THE COMPACTION EQUIPMENT. WHEN COMPACTING, THE SUBGRADE'S MOISTURE CONTENT SHOULD BE MAINTAINED TO NOT MORE THAN 2% ABOVE OPTIMUM MOISTURE FOR THE MATERIAL. WHEN THE SPECIFIED COMPACTION CANNOT BE OBTAINED, THE SUBGRADE MATERIAL SHALL BE EXCAVATED TO A DEPTH THAT WHEN REPLACED AND RECOMPACTED AT MOISTURE CONTENT NOT EXCEEDING OPTIMUM, THE SUBGRADE SHALL HAVE REQUIRED COMPACTION. IMMEDIATELY PRIOR TO THE PLACEMENT OF THE ROADWAY'S STONE SUBBASE, THE SUBGRADE SHALL BE RECOMPACTED AND RESHAPED TO PROVIDE THE REQUIRED ROADWAY SUBGRADE COMPACTION AND ELEVATION. INSPECTION IS REQUIRED AT THE COMPLETION OF THE SUBGRADE COMPACTION BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- SUBBASE: SUBBASE MATERIAL SHALL CONSIST OF TYPE C OR BETTER, NO. 2A AND NO. 3 AGGREGATES AS SPECIFIED IN THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 703.2. COMPACT THE UNIFORMLY SPREAD SUBBASE MATERIAL TO NOT LESS THAN 100% OF THE MAXIMUM DRY-MASS (DRY-WEIGHT) DENSITY. THE DETERMINED DRY-MASS (DRY-WEIGHT) DENSITY SHOULD BE DETERMINED BY THE PENNSYLVANIA TEST METHOD (PTM) NO. 105 - METHOD B, PTM NO. 112, OR PTM NO. 402 FOR EACH 3,000 SQUARE YARDS OR LESS OF COMPLETED SUBBASE. WHEN THE MATERIAL IS TOO COARSE (MORE THAN 20% RETAINED ON A 3/4-INCH SIEVE) TO UTILIZE THE PTM METHODS, COMPACTION SHOULD BE DETERMINED BASED ON THE NONMOVEMENT OF THE SUBBASE MATERIAL UNDER THE COMPACTION EQUIPMENT. COMPACTION OF THE SUBBASE SHALL BE INSTALLED IN MAXIMUM FOUR-INCH LAYERS OF NO. 2A OR A MAXIMUM FIVE-INCH LAYER OF NO. 3 (COMPACTED THICKNESS), UNTIL THE TOTAL REQUIRED SUBBASE THICKNESS IS ACHIEVED. COMPACTION SHALL PROCEED GRADUALLY FROM SIDES TO CENTER, WITH THE SUCCEEDING PASS UNIFORMLY OVERLAPPING THE PREVIOUS PASS, WHICH SHALL CONTINUE UNTIL THE SUBBASE IS PROPERLY COMPACTED AND SHAPED. IF THE SUBBASE MATERIAL DOES NOT CONTAIN SUFFICIENT MOISTURE AFTER PLACEMENT, ADD WATER TO OBTAIN THE PROPER COMPACTION. IMMEDIATELY PRIOR TO THE PLACEMENT OF THE ROADWAY PAVEMENT, THE SUBBASE SHALL BE RECOMPACTED AND RESHAPED TO PROVIDE THE REQUIRED ROADWAY SUBBASE COMPACTION AND ELEVATION. INSPECTION IS REQUIRED AT THE COMPLETION OF THE SUBBASE COMPACTION BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- PLAN MIXED BITUMINOUS CONCRETE COURSES -- WEATHER LIMITATIONS. DO NOT PLACE BITUMINOUS PAVING MIXTURES BETWEEN OCTOBER 31 AND APRIL 1 FOR BASE COURSE PAVEMENT AND STANDARD WEARING COURSE PAVEMENT, UNLESS OTHERWISE PERMITTED IN WRITING BY AUTHORIZED TOWNSHIP PERSONNEL. DO NOT PLACE SUPER PAVE WEARING COURSES FROM OCTOBER 15 TO APRIL 1, UNLESS OTHERWISE PERMITTED IN WRITING BY AUTHORIZED TOWNSHIP PERSONNEL. DO NOT PLACE BITUMINOUS PAVING MIXTURES WHEN SURFACES ARE WET OR WHEN THE TEMPERATURE OF EITHER THE AIR OR THE SURFACE ON WHICH THE MIXTURE IS TO PLACE IS 40° F. (4° C) OR LOWER. WHEN WORK IS HALTED BECAUSE OF WEATHER CONDITIONS, LIMITED QUANTITIES EN ROUTE TO THE PROJECT MAY BE PLACED, IF PERMITTED BY THE TOWNSHIP ROAD FOREMAN.
- BASE COURSE PAVEMENT: BASE COURSE PAVING MATERIAL SHALL CONFORM TO LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 409.2 AND SECTION 420.2. BASE COURSE PAVING SHALL CONFORM TO THE ABOVE-MENTIONED WEATHER LIMITATIONS. THE BASE COURSE PAVEMENT SHALL BE INSTALLED IN A MAXIMUM OF TWO-INCH ROLLED LAYERS, UNTIL THE TOTAL REQUIRED BASE COURSE DEPTH IS ACHIEVED. NINETY PERCENT OF ALL THE LOTS MUST BE DEVELOPED AND A MINIMUM OF ONE YEAR MUST ELAPSE FROM THE INSTALLATION OF THE BASE COURSE PAVING PRIOR TO THE INSTALLATION OF THE WEARING COURSE. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP. AFTER INSTALLATION OF BASE COURSE, NO STREET CUTS CAN BE MADE BY THE DEVELOPER WITHOUT THE PERMISSION OF NORTH LEBANON TOWNSHIP ROAD FOREMAN OR SUPERVISORS. A STREET CUT PERMIT IS REQUIRED. THE ROAD FOREMAN, OR DESIGNATED AGENT, MUST BE PRESENT DURING ANY PERMITTED CUTS FOR PROPER RESTORATION. ANY CUTS MADE WITHOUT AUTHORIZATION BY THE TOWNSHIP WILL BE REQUIRED TO BE REDUG, AT THE DEVELOPER'S EXPENSE, SO VERIFICATION CAN BE MADE ON PROPER RESTORATION.
- BITUMINOUS TACK COAT: PRIOR TO THE PLACEMENT OF THE WEARING COURSE, THE BASE COURSE SHALL BE CONDITIONED AND TREATED WITH THE APPLICATION OF A BITUMINOUS BONDING MATERIAL CONFORMING TO THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 460. APPLY THE EMULSIFIED ASPHALT TACK COAT AT A RATE TO LEAVE A UNIFORM ASPHALT RESIDUE FROM 0.02 TO 0.07 GALLONS PER SQUARE YARD, OR AS APPROVED BY THE TOWNSHIP ROAD FOREMAN. APPLY THE TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 4° C. (40° F.) AND RISING. DO NOT APPLY TO A WET SURFACE, OR DURING WET WEATHER. FOLLOWING APPLICATION AND PRIOR TO SUCCEEDING CONSTRUCTION, ALLOW THE TACK COAT TO CURE, WITHOUT BEING DISTURBED, UNTIL THE WATER HAS COMPLETELY SEPARATED AND EVAPORATED, AS DETERMINED BY THE TOWNSHIP ROAD FOREMAN. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.
- WEARING COURSE PAVEMENT: NINETY PERCENT OF ALL THE LOTS MUST BE DEVELOPED AND A MINIMUM OF ONE YEAR MUST ELAPSE FROM THE INSTALLATION OF THE BASE COURSE PAVING PRIOR TO THE INSTALLATION OF THE WEARING COURSE. WEARING COURSE PAVING MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, SPECIFICATIONS, PUBLICATION 408, SECTION 409.2 AND SECTION 420.2. WEARING COURSE PAVING SHALL CONFORM TO THE ABOVE-MENTIONED WEATHER LIMITATIONS. PRIOR TO THE PLACEMENT OF THE WEARING COURSE PAVING, ALL DEFICIENCIES IN THE BASE COURSE PAVING MUST BE REPAIRED. PRIOR TO THE PLACEMENT OF THE WEARING COURSE A BITUMINOUS TACK COAT SHALL BE APPLIED TO THE BASE COURSE PAVEMENT. WEARING COURSE PAVING SHALL NOT BE COMPLETED IF IT WILL BE SUBJECTED TO HIGH TEMPERATURES OR CHANNELIZED TRAFFIC FOR EXTENDED PERIODS OF TIME. INSPECTION IS REQUIRED BY THE TOWNSHIP ROAD FOREMAN OR HIS DELEGATE DURING THE BITUMINOUS PLACEMENTS. ALL INSPECTIONS WILL REQUIRE A MINIMUM OF TWENTY-FOUR-HOUR NOTICE TO THE TOWNSHIP.

ANTICIPATED SCHEDULE

BEGINNING OF CONSTRUCTION: FALL 2024
END OF CONSTRUCTION: FALL 2026

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

CAD FILE:
01 - LD COVERSHEET

NO.	DATE	DESCRIPTION	REVISIONS
1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS	
2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS	
3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS	
4	02/26/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS	
5	08/15/2024	REVISED PER HOP SUBMISSION	
6	08/05/2024	REVISED PER HOP SUBMISSION	
7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW	

TITLE

NOTES

SHEET NO.

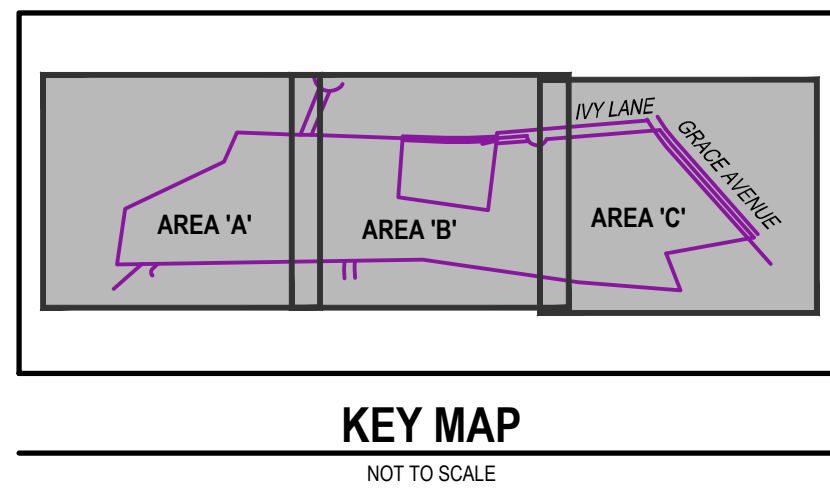
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PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	SLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 02 - EXISTING CONDITIONS	

REVISIONS	
NO.	DESCRIPTION
1	11/09/2023 REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024 REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	02/05/2024 REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	02/26/2024 REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024 REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024 REVISED PER HCP SUBMISSION
7	09/03/2024 REVISED PER TWP. ENGINEER REVIEW

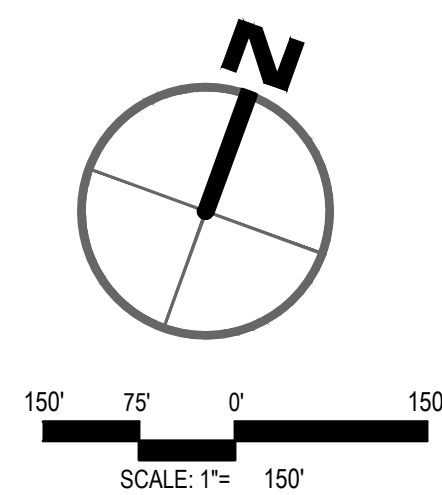
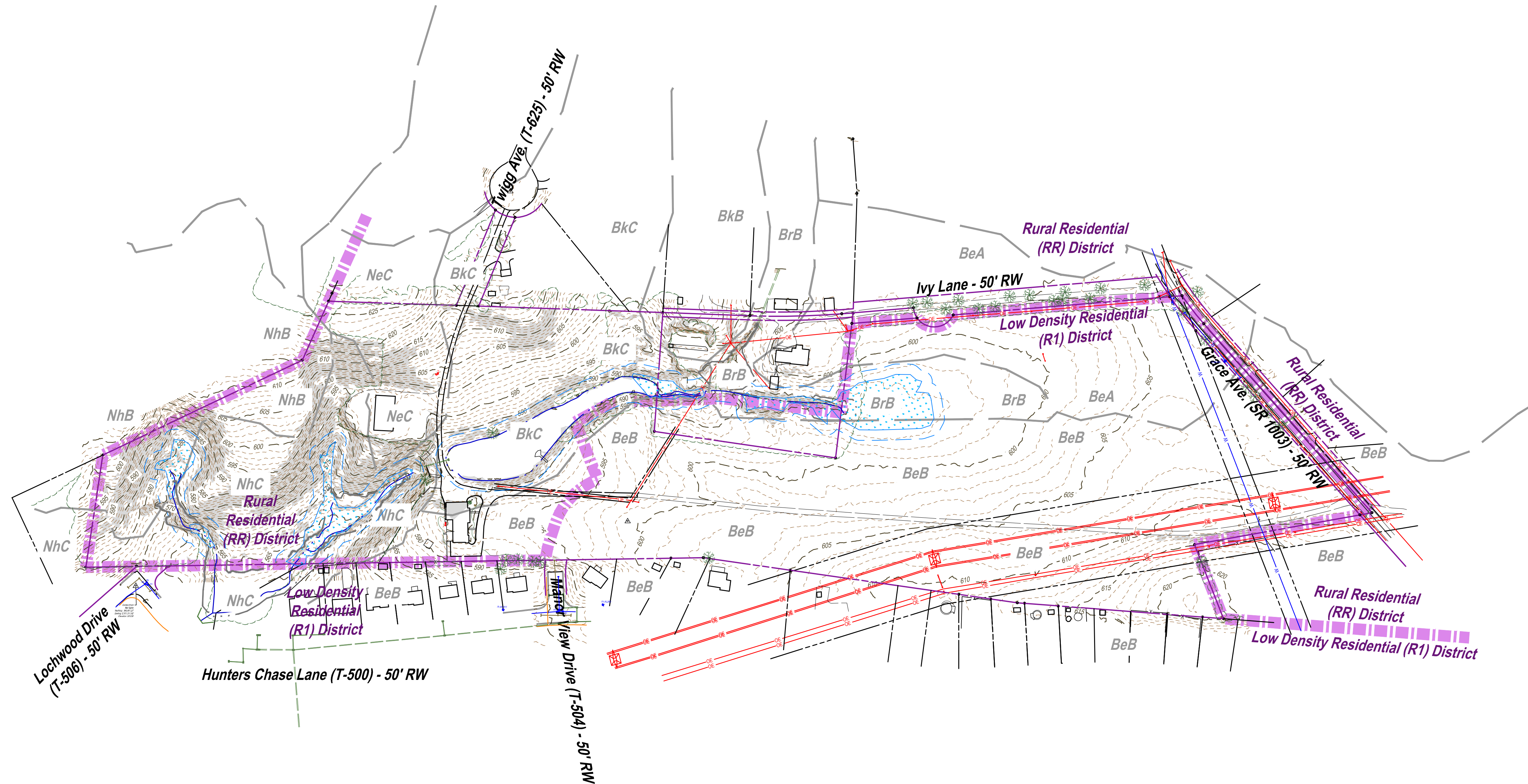
TITLE
EXISTING CONDITIONS PLAN - OVERALL

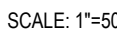
SHEET NO.
03 of 39



- SURVEY NOTES**
- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITH OUT THE BENEFIT OF A TITLE SEARCH. THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS OF WAY, EASEMENTS OR OTHER RESTRICTIONS WHICH MAY BE DISCOVERED BY A COMPLETE TITLE SEARCH.
 - BOUNDARY AND LIMITED TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY TERRAVIZ GEOSPATIAL INC., COMPLETED IN DECEMBER, 2021.
 - CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 2022009044 AND WAS ASSIGNED ON JANUARY 09, 2022.
 - THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF NORTH LEBANON, MAP NO. 4207500252E, EFFECTIVE DATE JULY 08, 2020.
 - THE 100-YEAR FLOODPLAIN HAS BEEN CALCULATED FOR ALL EXISTING STREAM CHANNELS ON-SITE. REFER TO CALCULATIONS IN THE POST CONSTRUCTION STORMWATER MANAGEMENT NARRATIVE REPORT.

- SOILS INFORMATION**
- BeA** BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
- BeB** BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
- BkC** BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
- BrB** BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC
- GEOLOGY INFORMATION**
- Oh** HAMBURG SEQUENCE ROCKS

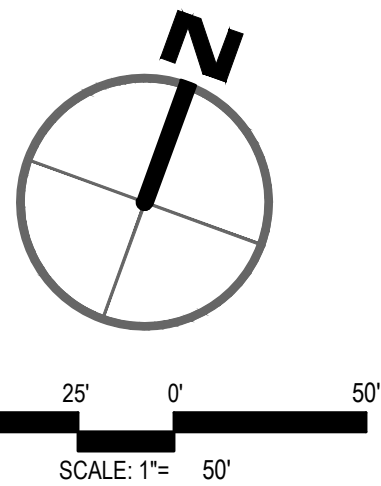




	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING TRACT LINE
	EXISTING ADJOURNER LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING PROPERTY CORNER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING LIDAR CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING GAS LINE
	EXISTING WATER HYDRANT
	EXISTING WATERLINE
	EXISTING WATERVALVE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING INLET STRUCTURE
	EXISTING STORM PIPE
	EXISTING SIGN
	EXISTING EDGE OF MACADAM
	EXISTING STRIPING
	EXISTING EDGE OF CONCRETE
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING TREE OR SHRUB
	EXISTING TOWNSHIP MONUMENT OR BENCHMARK
	EXISTING STREAM
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	25' WIDE RIPARIAN BUFFER
	SOIL TYPE BOUNDARY LINE
	SOIL OR GEOLOGY TYPE
	ZONING BOUNDARY
	EXISTING STEEP SLOPES >15%
	CALCULATED 100 YEAR FLOODPLAIN
	STREAM CHANNEL
	CROSS SECTION LOCATION

<i>BeA</i>	BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
<i>BeB</i>	BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
<i>BkC</i>	BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
<i>BrB</i>	BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC

Oh HAMBURG SEQUENCE ROCKS

**PROFESSIONAL SEAL**

DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	
02 - EXISTING CONDITIONS	

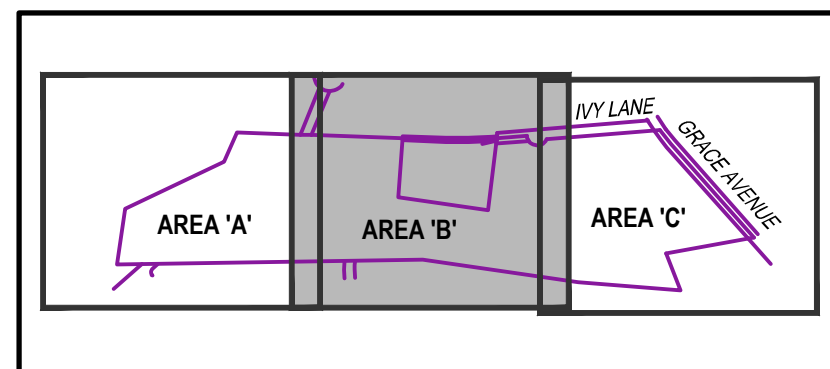
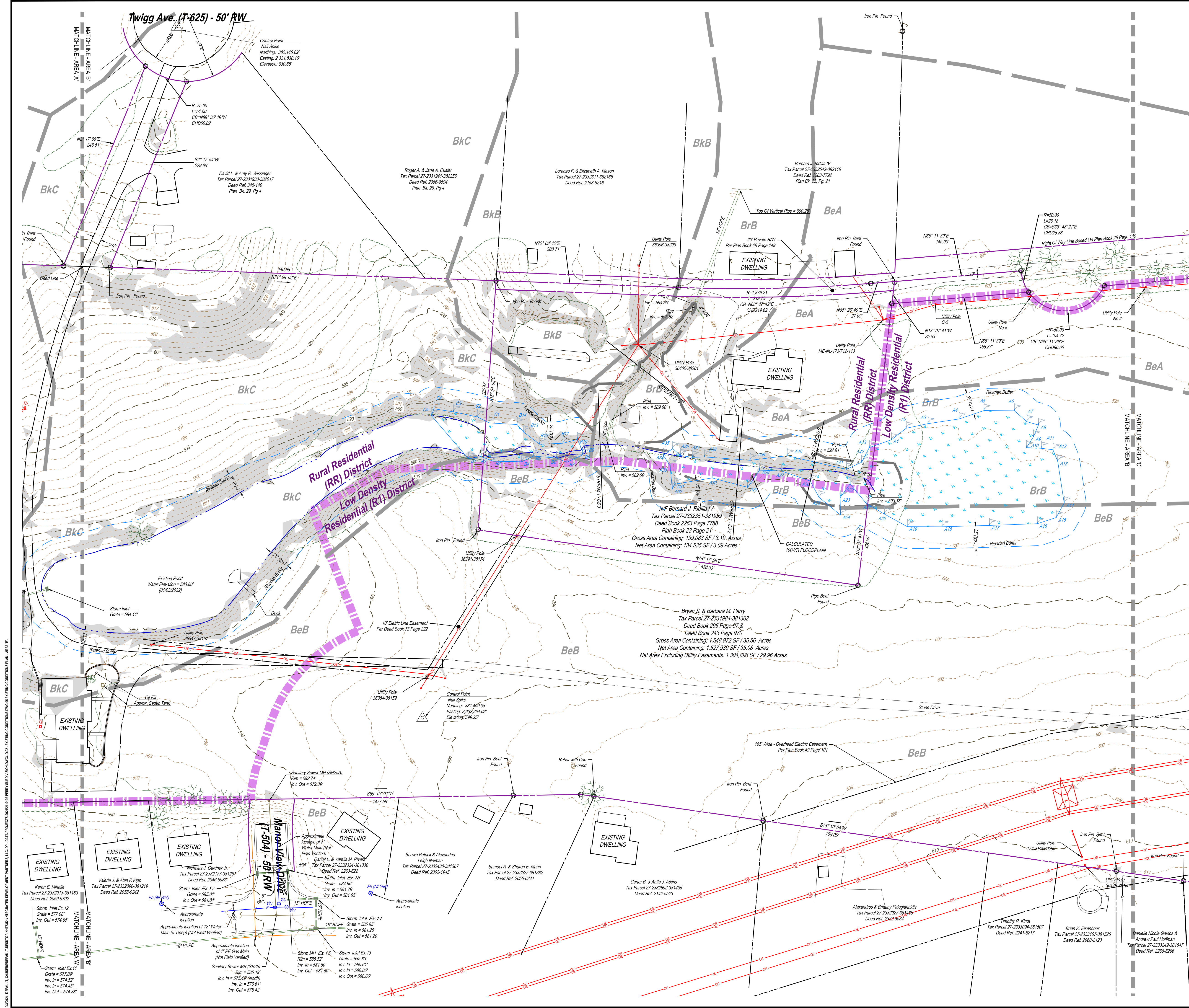
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NO.	DATE	
1	1/10/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	02/25/2024	REVISED PER TWP. AUTHORITY ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/10/2024	REVISED PER TWP. ENGINEER REVIEW
7	09/02/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE

**EXISTING
CONDITIONS
PLAN - AREA 'A'**

SHEET NO.

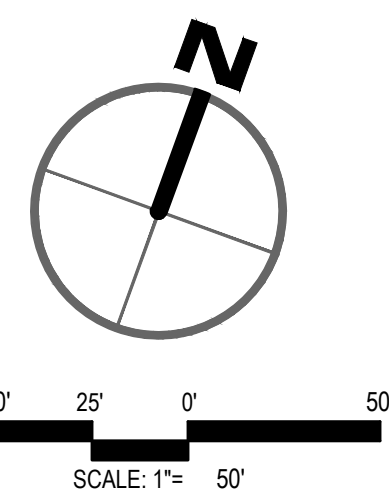
04 of 39



LEGEND

SOILS INFORMATION

GEOLOGY INFORMATION



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	
02 - EXISTING CONDITIONS	

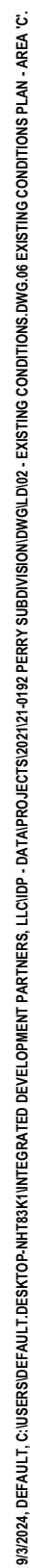
REVISIONS		
NO.	DATE	DESCRIPTION
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2	07/12/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	01/09/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	02/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/03/2024	REVISED PER HDP SUBMISSION
7	04/02/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE

**EXISTING
CONDITIONS
PLAN - AREA 'B'**

SHEET NO. _____

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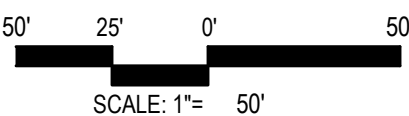
NOT TO SCALE

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING TRACT LINE
	EXISTING ADJOINER LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING PROPERTY CORNER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING LIDAR CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING GAS LINE
	EXISTING WATER HYDRANT
	EXISTING WATERLINE
	EXISTING WATERVALVE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING INLET STRUCTURE
	EXISTING STORM PIPE
	EXISTING SIGN
	EXISTING EDGE OF MACADAM
	EXISTING STRIPING
	EXISTING EDGE OF CONCRETE
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	EXISTING TREE LINE
	EXISTING TREE OR SHRUB
	EXISTING TOWNSHIP MONUMENT OR BENCHMARK
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	25' WIDE RIPARIAN BUFFER
	SOIL TYPE BOUNDARY LINE
	SOIL OR GEOLOGY TYPE
	ZONING BOUNDARY
	EXISTING STEEP SLOPES >15%
	CALCULATED 100 YEAR FLOODPLAIN
	STREAM CHANNEL
	CROSS SECTION LOCATION

STREAM X-CSS #

<i>BeA</i>	BEDINGTON SHALY SILT LOAM, 0-3% SLOPES, HSG-B, NON-HYDRIC
<i>BeB</i>	BEDINGTON SHALY SILT LOAM, 3-8% SLOPES, HSG-B, NON-HYDRIC
<i>BkC</i>	BERKS CHANNERY SILT LOAM, 8-15% SLOPES, HSG-B, NON-HYDRIC
<i>BrB</i>	BRINKERTON SILT LOAM, 3-8% SLOPES, HSG-D, HYDRIC

Oh HAMBURG SEQUENCE ROCKS



430 NORTH FRONT STREET
WORMLEYSBURG | PA | 17043
717.678.6750
www.IntegratedConsultingLLC.com

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 02 - EXISTING CONDITIONS	

DESCRIPTION
REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
REVISED PER TWP. ENGINEER REVIEW COMMENTS
REVISED PER TWP. ENGINEER & WATER AUTHORITY REVIEW COMMENTS
REVISED PER HQS SUBMISSION
REVISED PER TWP. ENGINEER REVIEW

TITLE

EXISTING
CONDITIONS
PLAN - AREA 'C'

SHEET NO.

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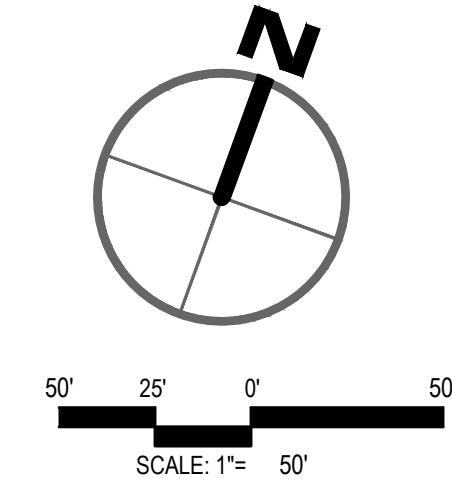
LEBANON COUNTY

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

LEBANON COUNTY

DEMOLITION PLAN NOTES

- | | |
|---|---|
|  | DEMOLISH MACADAM, STONE, OR CONCRETE |
|  | DEMOLISH WOODS/VEGETATION |
| <hr style="border-top: 1px dashed black;"/> | |
|  | DENOTES A FEATURE TO BE DEMOLISHED |
|  | DENOTES A FEATURE TO BE REMOVED AND RELOCATED |



DESCRIPTION
REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
REVISED PER TWP. ENGINEER REVIEW COMMENTS
REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
REVISED PER HCP SUBMISSION
REVISED PER TWP. ENGINEER REVIEW

TITLE

**DEMOLITION
PLAN - AREA 'A'**

SHEET NO.

07 of 39



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP
LEBANON COUNTY

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 03 - DEMOLITION PLAN	

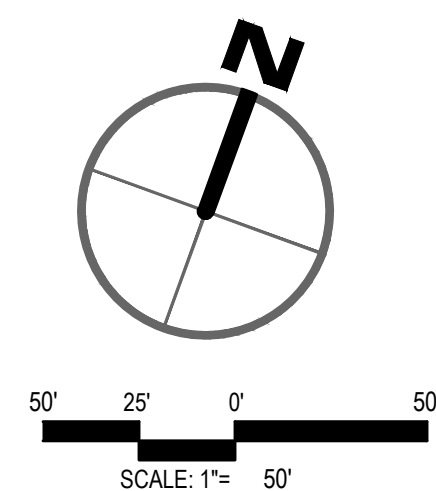
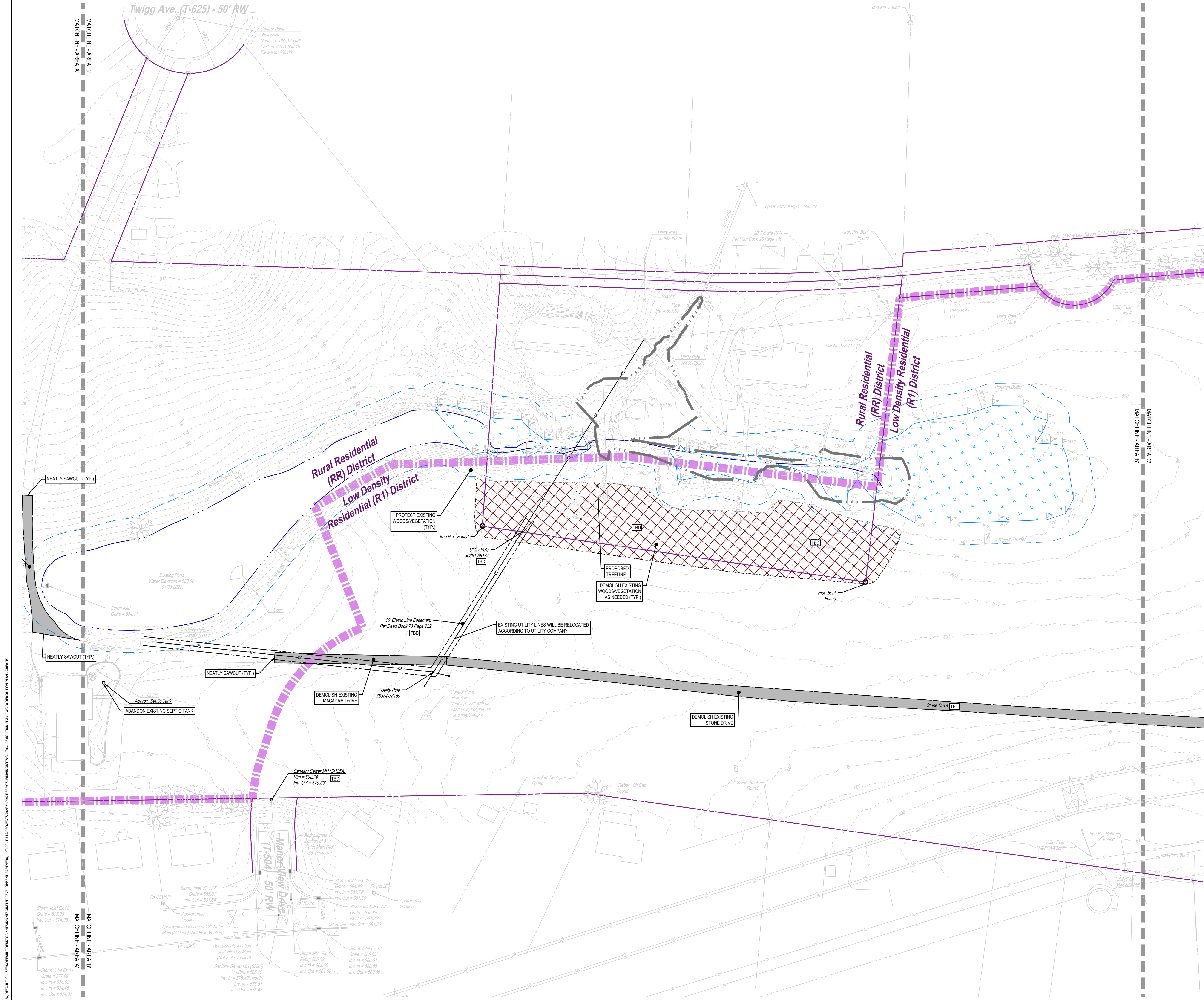
NO.	DATE	DESCRIPTION
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2	01/23/2021	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/26/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/11/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE

**DEMOLITION
PLAN - AREA 'B'**

SHEET NO.

08 of 39





LEBANON COUNTY

MANOR VIEW ESTATES

NORTH LEBANON TOWNSHIP

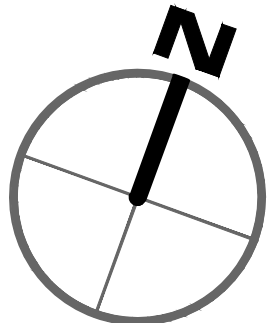
PROFESSIONAL SEAL

AD FILE:
3 - DEMOLITION PLAN

DEMOLITION

PLAN - AREA 'C'

09 of 39



STREET ADDRESSES

LOT #	STREET ADDRESS
1	1424 MANOR VIEW DRIVE, LEBANON, PA 17046
2	1422 MANOR VIEW DRIVE, LEBANON, PA 17046
3	1420 MANOR VIEW DRIVE, LEBANON, PA 17046
4	1418 MANOR VIEW DRIVE, LEBANON, PA 17046
5	1416 MANOR VIEW DRIVE, LEBANON, PA 17046
6	1414 MANOR VIEW DRIVE, LEBANON, PA 17046
7	1412 MANOR VIEW DRIVE, LEBANON, PA 17046
8	1410 MANOR VIEW DRIVE, LEBANON, PA 17046
9	1408 MANOR VIEW DRIVE, LEBANON, PA 17046
10	1406 MANOR VIEW DRIVE, LEBANON, PA 17046
11	1404 MANOR VIEW DRIVE, LEBANON, PA 17046
12	1402 MANOR VIEW DRIVE, LEBANON, PA 17046
13	1400 MANOR VIEW DRIVE, LEBANON, PA 17046
14	1401 MANOR VIEW DRIVE, LEBANON, PA 17046
15	1403 MANOR VIEW DRIVE, LEBANON, PA 17046
16	1405 MANOR VIEW DRIVE, LEBANON, PA 17046
17	1407 MANOR VIEW DRIVE, LEBANON, PA 17046
18	1409 MANOR VIEW DRIVE, LEBANON, PA 17046
19	1411 MANOR VIEW DRIVE, LEBANON, PA 17046
20	1413 MANOR VIEW DRIVE, LEBANON, PA 17046
21	1415 MANOR VIEW DRIVE, LEBANON, PA 17046
22	1417 MANOR VIEW DRIVE, LEBANON, PA 17046
23	1419 MANOR VIEW DRIVE, LEBANON, PA 17046
24	1421 MANOR VIEW DRIVE, LEBANON, PA 17046
25	1423 MANOR VIEW DRIVE, LEBANON, PA 17046
26	1425 MANOR VIEW DRIVE, LEBANON, PA 17046
27	1426 MANOR VIEW DRIVE, LEBANON, PA 17046
28	1310 TWIGG AVENUE, LEBANON, PA 17046
29	1161 LOCHWOOD DRIVE, LEBANON, PA 17046
30	1677 GRACE AVENUE, LEBANON, PA 17046 (EXISTING)

STREET ADDRESSES TO BE APPROVED BY NORTH LEBANON TOWNSHIP & LEBANON COUNTY.

LINE #	LENGTH	DIRECTION
L1	73.57	N67° 59' 49"E
L2	181.46	S19° 19' 34"E
L3	110.00	S70° 40' 26"W
L4	36.55	N67° 59' 49"E
L5	96.27	N41° 10' 23"E
L6	71.92	N67° 59' 49"E
L7	176.31	S19° 19' 34"E
L8	36.81	S70° 40' 26"W
L9	147.91	N41° 22' 24"W
L10	182.56	S19° 19' 34"E
L11	110.00	S70° 40' 26"W
L12	84.14	N67° 59' 49"E
L13	26.11	N76° 52' 19"E
L14	170.61	S19° 19' 34"E
L15	110.00	S70° 40' 26"W
L16	110.65	N76° 52' 19"E
L17	158.67	S19° 19' 34"E
L18	110.00	S70° 40' 26"W
L19	110.65	N76° 52' 19"E
L20	38.53	N76° 52' 19"E
L21	21.10	N13° 07' 41"W
L22	89.44	N69° 07' 01"E
L23	177.37	S19° 19' 34"E
L24	110.00	S70° 40' 26"W
L25	118.04	N64° 14' 43"E
L26	168.70	S31° 20' 15"E
L27	104.50	S58° 39' 45"W
L28	13.77	S70° 40' 26"W
L29	143.87	S31° 20' 15"E
L30	110.00	S58° 39' 45"W

LINE #	LENGTH	DIRECTION
L31	110.00	S58° 39' 45"W
L32	110.00	S58° 39' 45"W
L33	168.70	S31° 20' 15"E
L34	110.00	S58° 39' 45"W
L35	194.21	N13° 07' 41"W
L36	156.87	N65° 11' 39"E
L37	325.31	N65° 11' 39"E
L38	168.70	S31° 20' 15"E
L39	110.00	S58° 39' 45"W
L40	168.70	S31° 20' 15"E
L41	110.00	S58° 39' 45"W
L42	168.70	S31° 20' 15"E
L43	110.00	S58° 39' 45"W
L44	110.72	N65° 11' 39"E
L45	297.84	S31° 20' 15"E
L46	86.99	S58° 39' 45"W
L47	84.53	N65° 11' 39"E
L48	113.06	S61° 39' 10"E
L49	74.35	S28° 20' 50"W
L50	76.89	S44° 18' 02"W
L51	92.80	S58° 39' 45"W
L52	110.00	S58° 39' 45"W
L53	110.00	S58° 39' 45"W
L54	110.00	S58° 39' 45"W
L55	110.00	S58° 39' 45"W
L56	96.64	S58° 39' 45"W
L57	2.06	S58° 39' 45"W
L58	61.16	S70° 40' 26"W
L59	110.00	S70° 40' 26"W
L60	110.00	S70° 40' 26"W

LINE #	LENGTH	DIRECTION
L61	111.00	S70° 40' 26"W
L62	208.42	S70° 40' 26"W
L63	47.01	S2° 09' 03"E
L64	50.51	S69° 07' 01"W
L65	47.01	N2° 09' 03"W
L66	90.00	S61° 39' 10"E
L67	74.35	S28° 20' 50"W
L68	76.89	S44° 18' 02"W
L69	332.61	N61° 39' 10"W
L70	387.41	S61° 39' 10"E
L71	149.08	S59° 50' 57"W
L72	255.44	N38° 13' 38"W
L73	253.08	S59° 50' 57"W
L74	391.34	N31° 20' 15"W
L75	190.44	S41° 17' 13"E
L76	180.33	S74° 25' 33"W
L77	114.30	S74° 25' 33"W
L78	360.29	N31° 20' 15"W
L79	114.30	S74° 25' 33"W
L80	329.24	N31° 20' 15"W
L81	29.33	S78° 10' 04"W
L82	296.20	N31° 20' 15"W
L83	85.57	S74° 25' 33"W
L84	116.70	S78° 10' 04"W
L85	257.23	N31° 20' 15"W
L86	212.01	N19° 19' 34"W
L87	149.33	S78° 10' 04"W
L88	110.95	S78° 10' 04"W
L89	192.19	N19° 19' 34"W
L90	110.95	S78° 10' 04"W

LINE #	LENGTH	DIRECTION
L91	177.72	N19° 19' 34"W
L92	110.95	S78° 10' 04"W
L93	163.25	N19° 19' 34"W
L94	111.96	S78° 10' 04"W
L95	148.65	N19° 19' 34"W
L97	328.02	S69° 07' 01"W
L98	18.90	S78° 10' 04"W
L99	422.42	S69° 07' 01"W
L100	189.24	N11° 29' 16"E
L101	60.11	N23° 58' 46"E
L102	234.32	N74° 20' 05"E
L103	192.03	N18° 44' 15"E
L104	319.50	S69° 07' 01"W
L105	408.78	N21° 25' 33"W
L106	189.70	N44° 32' 51"E
L107	154.18	N3° 55' 45"E
L108	306.01	N71° 51' 34"E
L109	246.51	N2° 17' 56"E
L110	229.65	S2° 17' 54"W
L111	440.98	N71° 58' 02"E
L112	9.96	S15° 54' 02"E
L113	201.98	S15° 54' 02"E
L114	357.11	S69° 07' 01"W
L115	271.46	N11° 23' 16"W
L116	339.17	N44° 32' 51"E
L117	25.07	N65° 26' 40"E
L118	15.33	S13° 07' 41"E
L119	209.05	N72° 08' 42"E

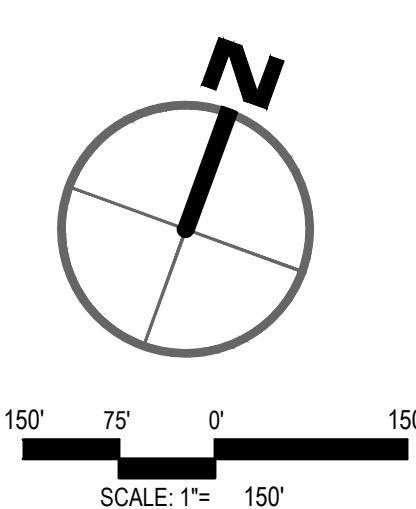
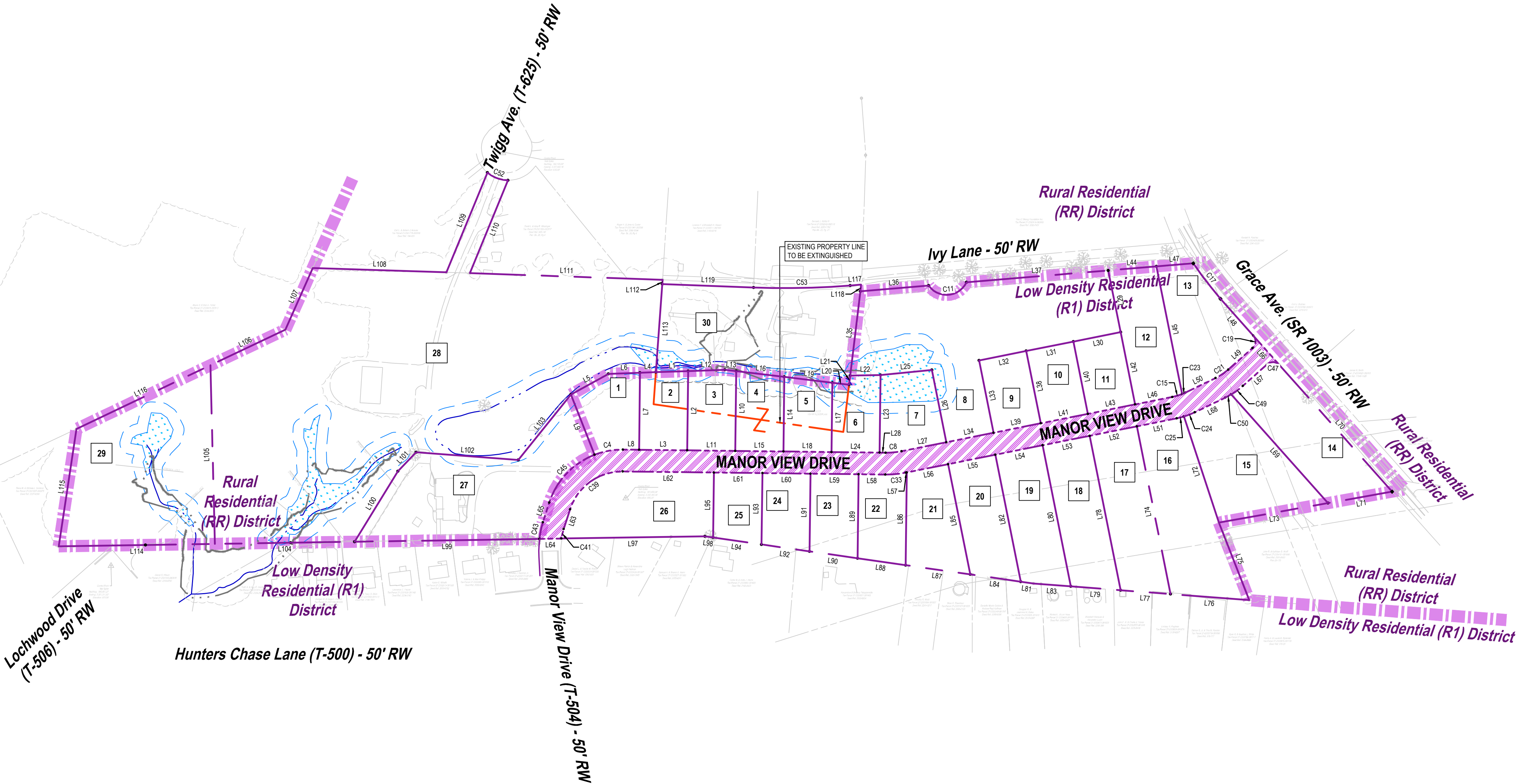
CURVE #	ARC LENGTH	RADIUS	TANGENT LENGTH	CHORD DIRECTION	CHORD LENGTH
C4	66.64	175.00	33.73	S69° 45' 53"W	66.24
C8	36.69	175.00	18.41	S64° 40' 05"W	36.62
C11	104.72	50.00	86.60	N65° 11' 39"E	86.60
C15	23.14	125.00	11.60	S53° 21' 35"W	23.11
C17	102.15	902.18	51.13	S57° 25' 10"E	102.10
C19	31.42	20.00	20.00	S16° 39' 10"E	28.28
C21	34.80	125.00	17.52	S30° 19' 26"W	34.69
C23	8.19	125.00	4.10	S46° 10' 43"W	8.19
C24	26.64	175.00	13.34	S48° 39' 41"W	26.61
C25	17.23	175.00	8.62	S55° 50' 32"W	17.22
C33	47.17	225.00	23.67	S64° 40' 05"W	47.08
C39	158.88	125.00	92.20	S34° 51' 41"W	148.40
C41	22.66	140.00	11.35	S8° 47' 13"E	22.63
C43	39.05	190.00	19.59	N8° 02' 20"W	38.98
C45	155.79	175.00	83.48	N23° 21' 08"E	150.70
C47	31.42	20.00	20.00	S73° 20' 50"W	28.28
C49	32.95	175.00	16.53	S33° 44' 31"W	32.90
C50	15.77	175.00	7.89	S41° 43' 06"W	15.77
C52	51.00	75.00	26.53	S89° 36' 49"E	50.02
C53	220.92	1889.21	110.59	N68° 47' 42"E	220.79

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED IRON PIN
- PROPOSED CONCRETE MONUMENT
- PROPOSED CORNER MARKER
- PROPOSED DRILL HOLE
- PROPOSED CORNER MARKER
- PROPOSED PUBLIC RIGHT-OF-WAY TO BE DEDICATED
- PROPERTY LINE TO BE EXTINGUISHED
- PROPOSED LANDHOOK

SUBDIVISION PLAN NOTES

- THE EXISTING TWO (2) TRACTS ARE PROPOSED TO BE COMBINED AND SUBDIVIDED INTO THIRTY (30) NEW RESIDENTIAL LOTS. TWO OF THE CREATED LOTS (27 AND 30) WILL BE OCCUPIED BY EXISTING DEWILLINGS.
- REFER TO SITE PLAN FOR PROPOSED LOT AREAS AND DETAILED SITE LAYOUT.
- SUFFICIENT MONUMENTS SHALL BE SET TO ENSURE THAT RELIABLE SURVEY POINTS ARE AVAILABLE FOR ALL PARTS OF THE SUBDIVISION. AT LEAST ONE (1) MONUMENT SHALL BE PLACED FOR EVERY TWO (2) LOTS OR EVERY TWO HUNDRED (200) FEET OF STREETS, WHICHEVER IS LESS.
 - THE MONUMENT SHALL CONSIST OF A CONCRETE MONUMENT 4" X 4" X 30", SET LEVEL WITH FINISHED GRADE.
 - ALL LOT CORNERS AND CHANGES IN DIRECTION SHALL BE IDENTIFIED WITH 3/4" DIAMETER X 15" STEEL BARS.
 - DRILL HOLES IN CONCRETE SIDEWALK MAY BE PROVIDED IN LIEU OF CONCRETE MONUMENTS AND/OR STEEL BARS ALONG THE PROPOSED PUBLIC RIGHT-OF-WAY LINE DUE TO THE LOCATION OF THE PROPOSED CONCRETE SIDEWALK INTERFERING WITH CONCRETE MONUMENT AND/OR STEEL BAR INSTALLATION/PLACEMENT. A WAIVER IS REQUIRED TO PROVIDE DRILL HOLES IN LIEU OF CONCRETE MONUMENTS AND/OR STEEL BARS.



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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR

ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

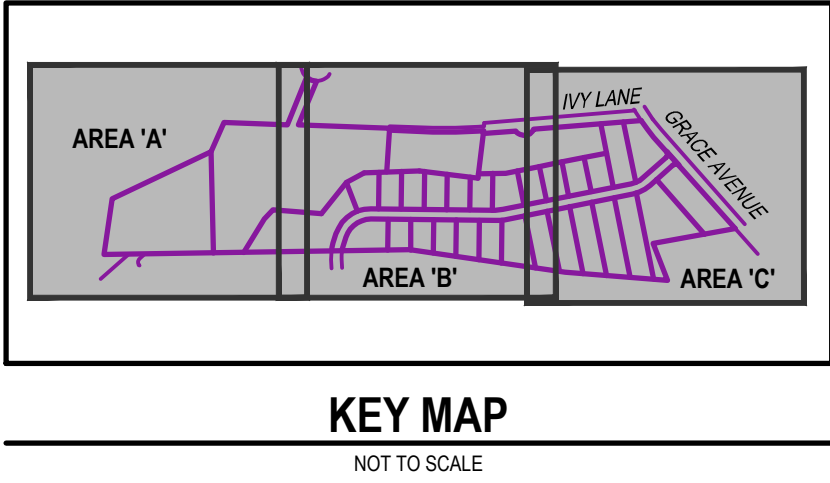
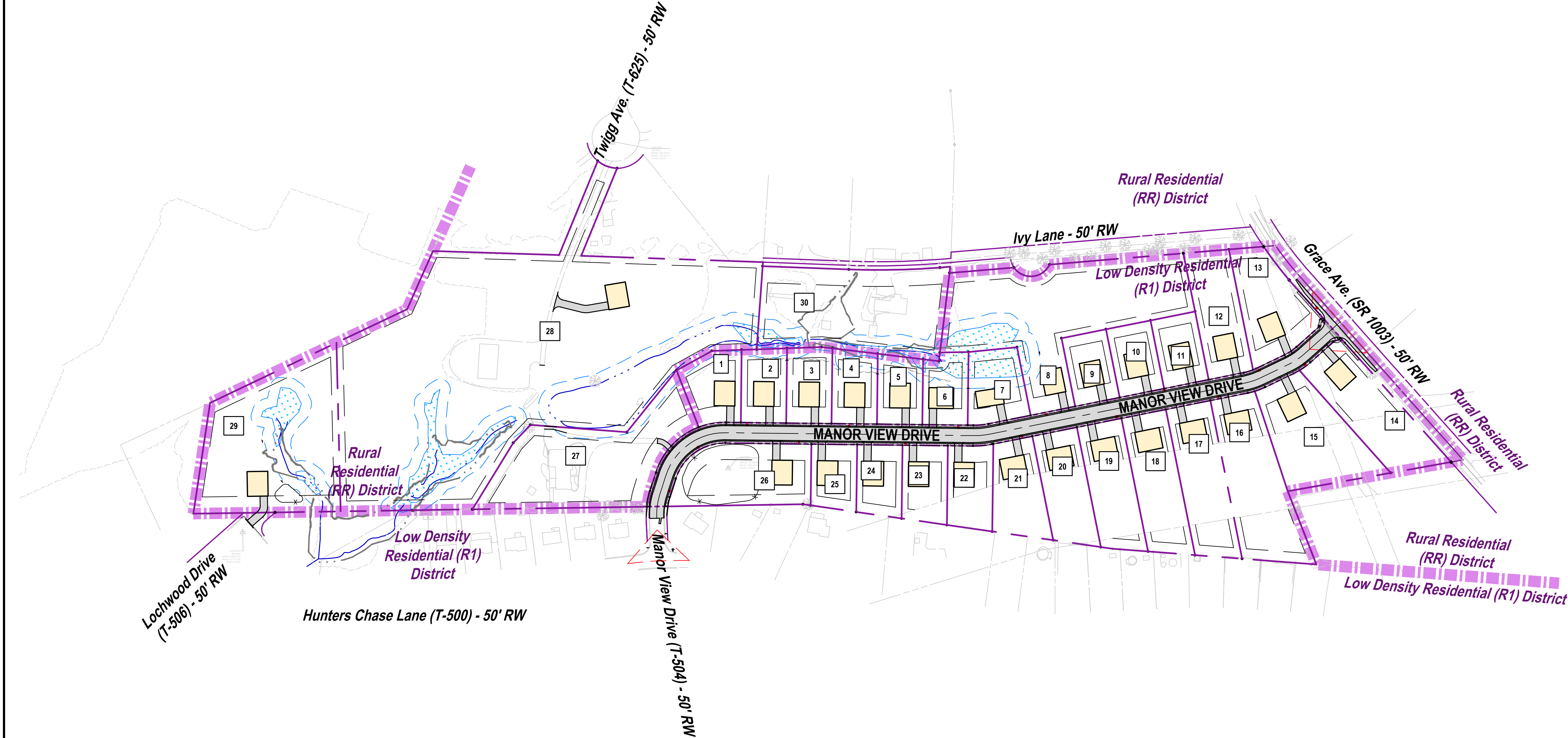
LEBANON COUNTY

REVISIONS		NO.	DATE	DESCRIPTION
		1	11/09/2023	DESIGNED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
		2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
		3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
		4	02/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
		5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
		6	06/05/2024	REVISED PER HDP SUBMISSION
		7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE	
SUBDIVISION PLAN	

SHEET NO.	
10 of 39	

\\03261.DEPARTMENT\DEFAULT\DESIGN\INTEGRATED\DEVELOPMENT\PARTNERS,LLC\DWG - DATA\PROJECTS\2024\2024-04-18\SUBDIVISION\DWG-04 - SITE PLAN.DWG 11 SITE PLAN - OVERALL



SITE PLAN NOTES

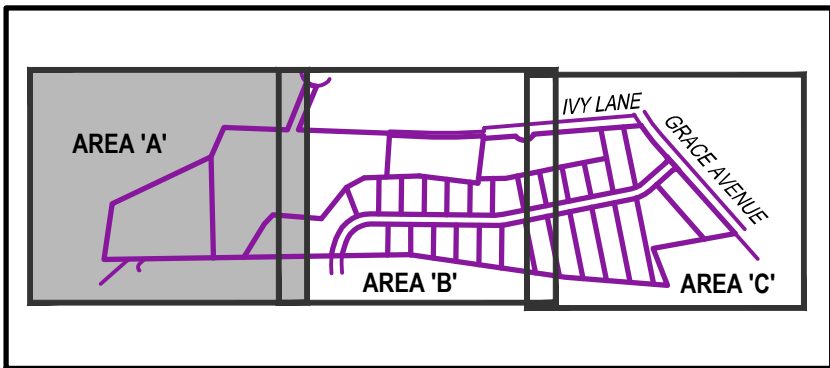
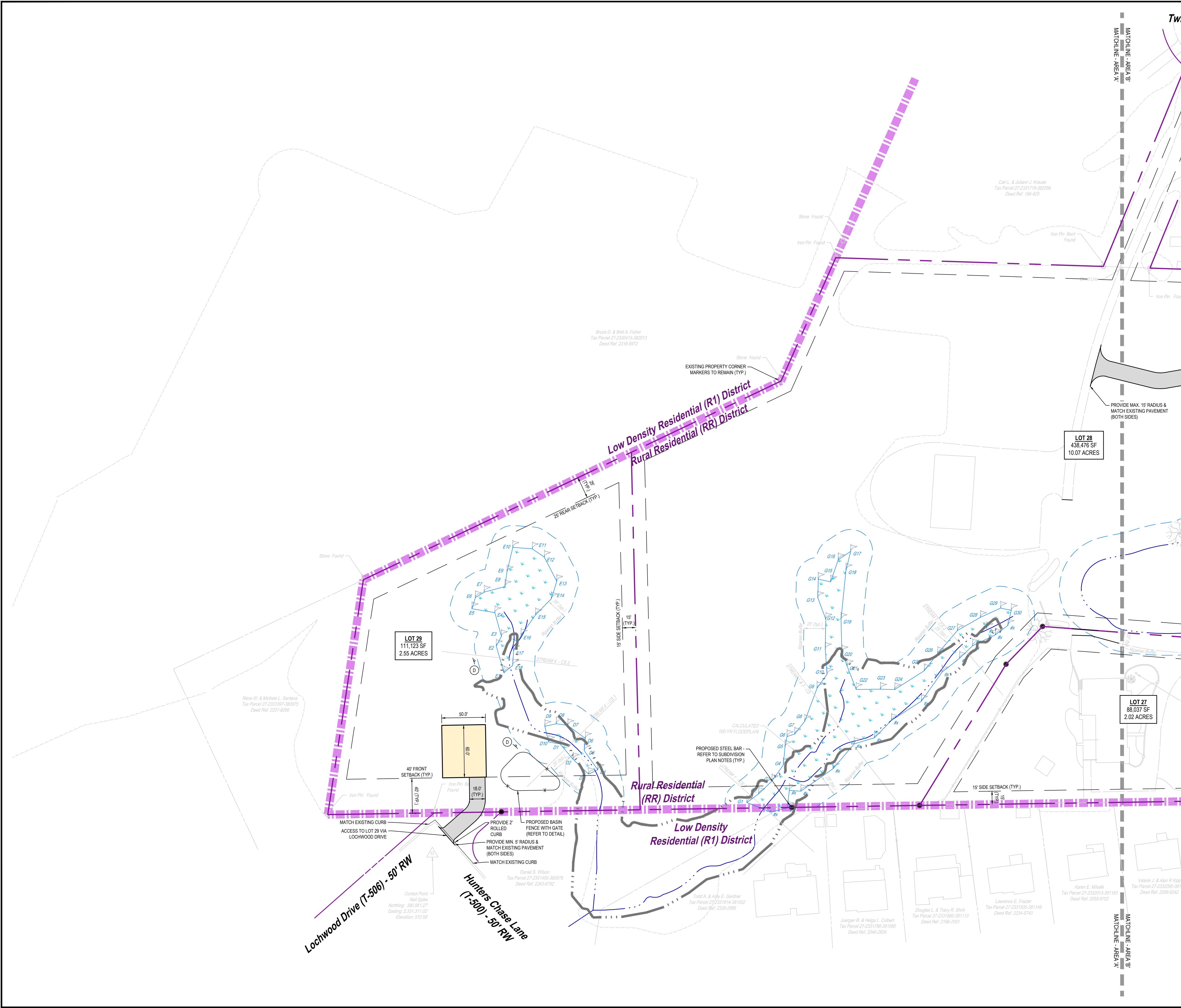
1. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
2. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS AS REQUIRED BY THE OWNER, ENGINEER OR LOCAL GOVERNING AUTHORITIES.
4. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
5. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
6. PAVEMENT MARKING KEY:

4" SYDL	4" SOLID YELLOW DOUBLE LINE
4" SYL	4" SOLID YELLOW LINE
4" SWL	4" SOLID WHITE LINE
12" SWSB	12" SOLID WHITE STOP BAR
4" BWL	4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
7. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
8. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR PENNDOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
9. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
10. NET LOT AREA SHALL BE CALCULATED WHEN EVALUATING THE MINIMUM LOT AREA REQUIREMENTS. REFER TO THE 'LOT AREAS' TABLE ON THE SUBDIVISION PLAN SHEET FOR NET LOT AREAS. ALL AREAS SHOWN ON THE SITE PLAN SHEETS ARE GROSS LOT AREAS.
11. THE REQUIRED SIGHT DISTANCE SHALL BE PROVIDED AND PERPETUALLY MAINTAINED.

PROFESSIONAL SEAL	
DRAWN	MLS
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SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	04 - SITE PLAN

REVISIONS	
NO.	DESCRIPTION
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2	01/23/2024 REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
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6	06/05/2024 REVISED PER HDP SUBMISSION
7	09/03/2024 REVISED PER TWP. ENGINEER REVIEW

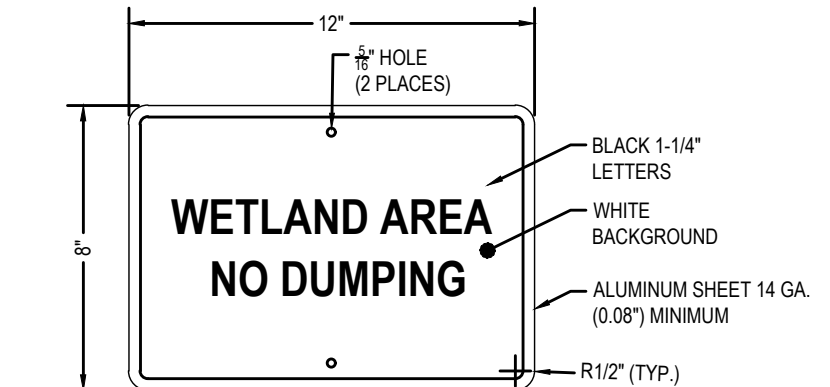
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KEY MAP
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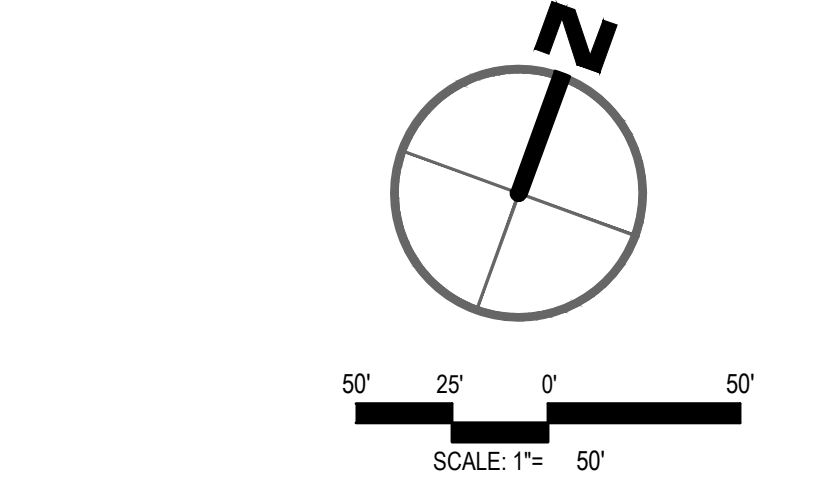
LEGEND	
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED CROSSWALK
	PROPOSED LIGHT STANDARDS
	PROPOSED CENTERLINE
	PROPOSED CURB
	SITE SIGN
	PROPOSED IRON PIN
	PROPERTY CORNER MARKER
	PROPOSED CONCRETE MONUMENT
	PROPERTY CORNER MARKER
	PROPOSED DRILL HOLE
	PROPERTY CORNER MARKER
	PROPOSED CHAINLINK FENCE
	PROPOSED WALL
	PROPOSED CLEAR SIGHT TRIANGLE
	25' WIDE RIPARIAN BUFFER

SIGN SCHEDULE			
NO.	DOT NO / SIGN SIZE	LEGEND	QTY.
A	R1-1 30"x30"		2
B	D3-1 18"x8"		2
C	R2-1 24"x30"		2
D	12" X 8"	CUSTOM (SEE BELOW DETAIL)	6



NOTES:
1. INSTALL SIGNS ON THE BOUNDARY OF THE EASEMENT AS SHOWN ON THE SITE PLAN, FACING AWAY FROM THE INTERIOR OF THE EASEMENT.
2. INSTALL SIGNS ON GALVANIZED STEEL OR ALUMINUM POSTS, AT A HEIGHT OF 5 FEET ABOVE GROUND ELEVATION, USING 3" GALVANIZED OR STAINLESS STEEL HARDWARE. WHERE A SIGN IS INDICATED TO BE INSTALLED COINCIDENT WITH NEW FENCE, THE SIGN MAY BE MOUNTED ON FENCING USING 14 GA. STEEL OR ALUMINUM WIRE.

WETLAND AREA SIGN
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PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR

ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

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SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	04 - SITE PLAN

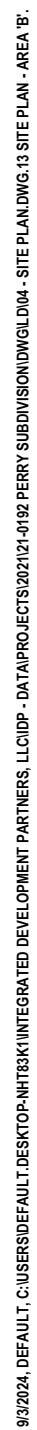
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4	4	02/26/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
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6	6	06/05/2024	REVISED PER HDP SUBMISSION
7	7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

SITE PLAN - AREA 'A'

SHEET NO.

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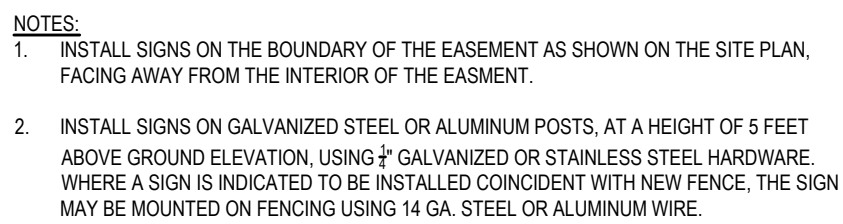
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	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED CROSSWALK
	PROPOSED LIGHT STANDARDS
	PROPOSED CENTERLINE
	PROPOSED CURB
	SITE SIGN
	PROPOSED IRON PIN
	PROPERTY CORNER MARKER
	PROPOSED CONCRETE MONUMENT
	PROPERTY CORNER MARKER
	PROPOSED DRILL HOLE
	PROPERTY CORNER MARKER
	PROPOSED CHAINLINK FENCE
	PROPOSED WALL
	PROPOSED CLEAR SIGHT TRIANGLE
	25' WIDE RIPARIAN BUFFER

NO.	DOT NO./ SIGN SIZE	LEGEND	QTY.
A	R1-1 30"x30"		2
B	D3-1 18"x38"		2
C	R2-1 24"x30"		2
D	12" X 8"	CUSTOM (SEE BELOW DETAIL)	6



NOT TO SCALE



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

PROFESSIONAL SEA

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PROJECT NO.	21-0102
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CAD FILE:

04 - SITE PLAN

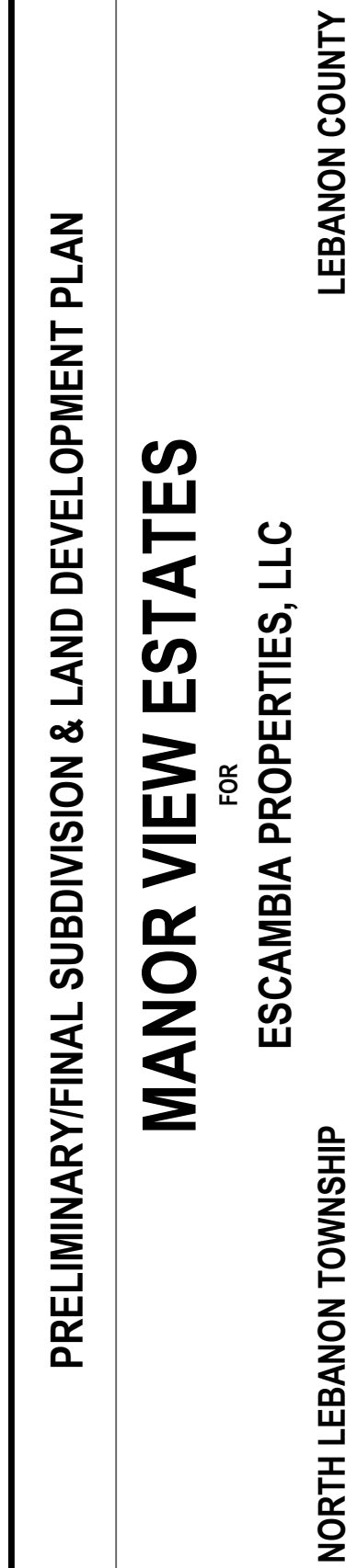
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TITLE

**SITE PLAN -
AREA 'B'**

SHEET NO.

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PROFESSIONAL SEAL	
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SCALE	A3
DATE	08
PROJECT NO.	
CAD FILE:	
04 - SITE PLAN	

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REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 04 - SITE PLAN	

REVISIONS		REVISION	DATE	DATE
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5		REVISION PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS	05/15/2024	
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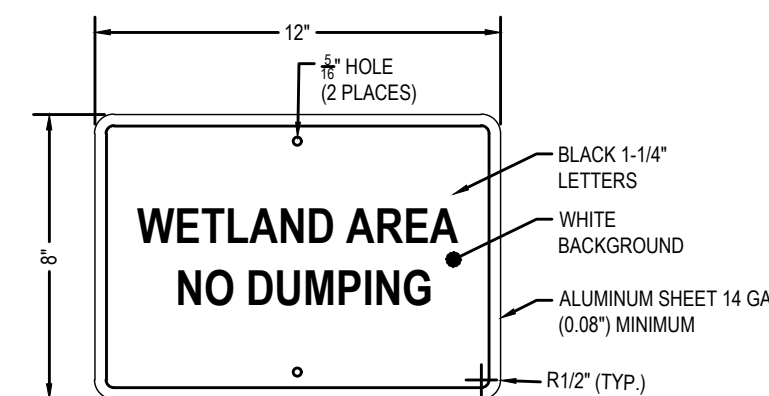
SHEET NO.

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	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED YARD SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED STANDARD DUTY PAVEMENT
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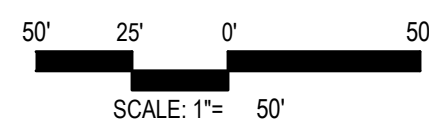
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NOTES:

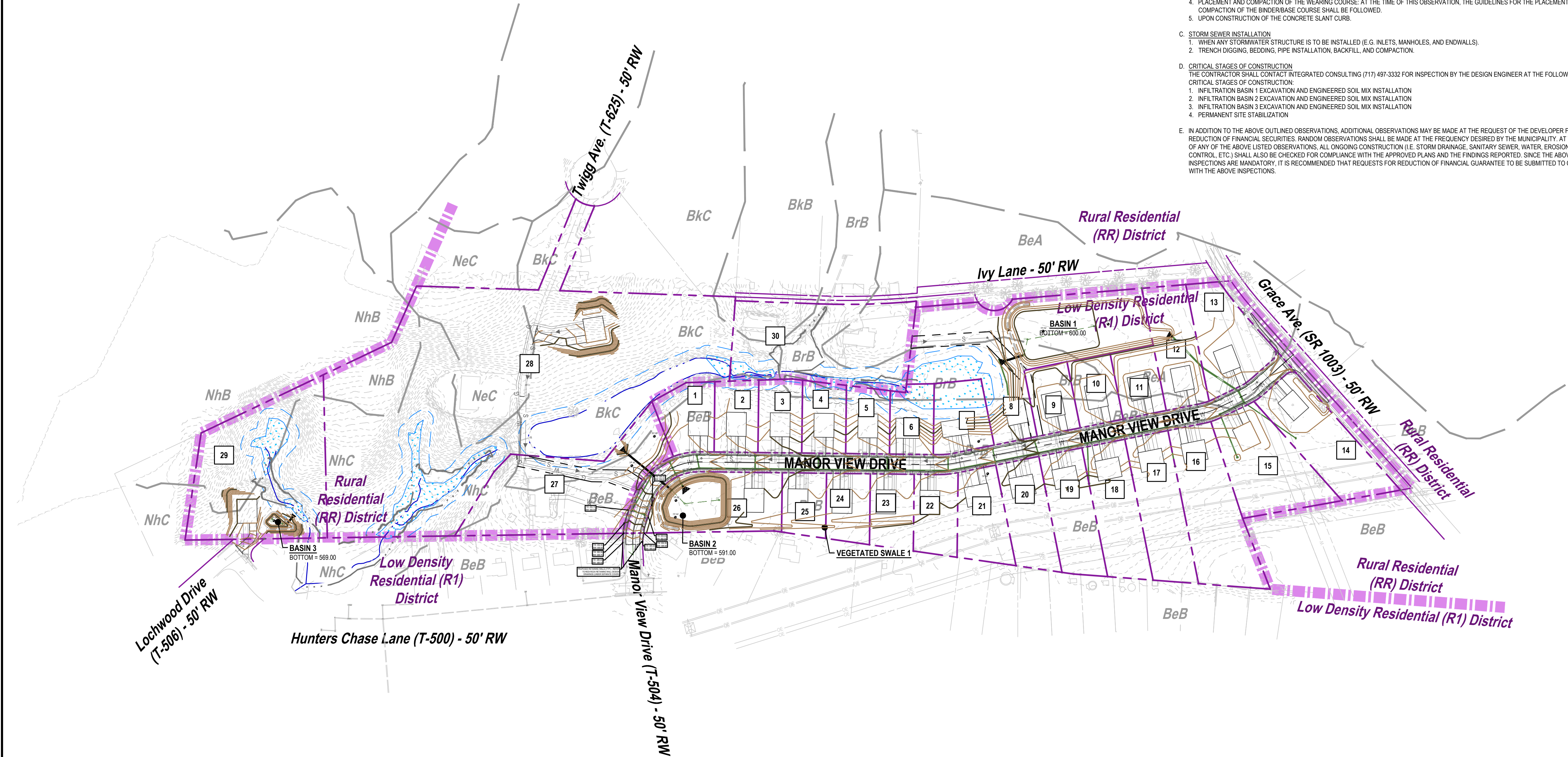
1. INSTALL SIGNS ON THE BOUNDARY OF THE EASEMENT AS SHOWN ON THE SITE PLAN, FACING AWAY FROM THE INTERIOR OF THE EASEMENT.
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NOT TO SCALE



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SITE INSPECTION NOTES

THE TOWNSHIP AND/OR THE AUTHORITY SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE V OF THE MUNICIPALITIES PLANNING CODE. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE. IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTION. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE RECORDED WITH THE FINAL PLAN OR SHOWN ON THE APPROVED IMPROVEMENT CONSTRUCTION PLAN.

A. GENERAL SITE CONSTRUCTION

- UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
- UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
- DURING THE CONSTRUCTION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES.
- UPON THE FINAL COMPLETION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
- AFTER REVIEW OF THE AS-BUILT DRAWINGS, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL GUARANTEE FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.
- A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER IS REQUIRED PRIOR TO THE START OF EARTHMOVING ACTIVITIES AND FAILURE TO INFORM THE TOWNSHIP ENGINEER THAT CONSTRUCTION HAS BEGUN MAY RESULT IN THE WITHHOLDING OF FINANCIAL SECURITY.

B. STREET CONSTRUCTION

- PREPARATION OF ROAD SUBGRADE: AT THE TIME OF THIS OBSERVATION, THE SUBGRADE SHALL BE PROOF ROLLED AND THE PROPOSED CROWN AND GRADE SHALL BE CHECKED. IT IS RECOMMENDED THAT A DEVELOPER'S/CONTRACTOR'S REPRESENTATIVE ACCOMPANY THE OBSERVER WHEN THE CROWN AND GRADE ARE CHECKED. PROOF ROLLING SHALL BE PERFORMED WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK.
- PLACEMENT AND COMPACTION OF ROAD SUBBASE: AT THE TIME OF THIS OBSERVATION, THE DEPTH OF SUBBASE SHALL BE CHECKED AFTER COMPACTION. THE SUBBASE SHALL BE PROOF ROLLED IN THE SAME MANNER AS THE SUBGRADE AND THE CROWN AND GRADE SHALL BE CHECKED AGAIN. THIS OBSERVATION MUST OCCUR PRIOR TO ANY BINDER OR BASE COURSE BEING PLACED.
- PLACEMENT AND COMPACTION OF THE BINDERBASE COURSE: AT THE TIME OF THIS OBSERVATION, THE DEPTH OF THE BINDERBASE COURSE SHALL BE CHECKED. AMBIENT TEMPERATURE SHALL BE MONITORED (THIS IS IMPORTANT IN EARLY SPRING AND LATE FALL DAYS WHEN THE TEMPERATURE CAN GO BELOW ACCEPTABLE LIMITS). THE TEMPERATURE OF THE BITUMINOUS MATERIAL SHALL BE CHECKED (IF POSSIBLE), AND IT IS RECOMMENDED THAT COPIES OF THE WEIGHT SLIPS FOR EACH TRUCKLOAD BE OBTAINED. THE CROWN AND GRADE SHALL ALSO BE CHECKED AGAIN. THIS OBSERVATION MUST OCCUR PRIOR TO THE WEARING COURSE BEING PLACED.
- PLACEMENT AND COMPACTION OF THE WEARING COURSE: AT THE TIME OF THIS OBSERVATION, THE GUIDELINES FOR THE PLACEMENT AND COMPACTION OF THE BINDERBASE COURSE SHALL BE FOLLOWED.
- UPON CONSTRUCTION OF THE CONCRETE SLANT CURB.

C. STORM SEWER INSTALLATION

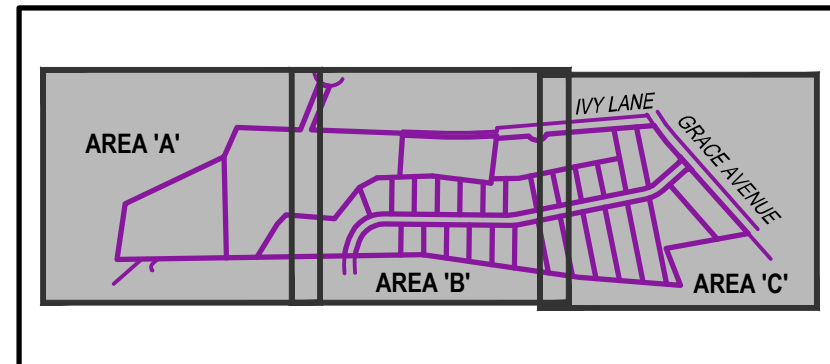
- WHEN ANY STORMWATER STRUCTURE IS TO BE INSTALLED (E.G. INLETS, MANHOLES, AND ENDWALLS).
- TRENCH DIGGING, BEDDING, PIPE INSTALLATION, BACKFILL, AND COMPACTION.

D. CRITICAL STAGES OF CONSTRUCTION

THE CONTRACTOR SHALL CONTACT INTEGRATED CONSULTING (717) 497-3332 FOR INSPECTION BY THE DESIGN ENGINEER AT THE FOLLOWING CRITICAL STAGES OF CONSTRUCTION:

- INFILTRATION BASIN 1 EXCAVATION AND ENGINEERED SOIL MIX INSTALLATION
- INFILTRATION BASIN 2 EXCAVATION AND ENGINEERED SOIL MIX INSTALLATION
- INFILTRATION BASIN 3 EXCAVATION AND ENGINEERED SOIL MIX INSTALLATION
- PERMANENT SITE STABILIZATION

E. IN ADDITION TO THE ABOVE OUTLINED OBSERVATIONS, ADDITIONAL OBSERVATIONS MAY BE MADE AT THE REQUEST OF THE DEVELOPER FOR REDUCTION OF FINANCIAL SECURITIES. RANDOM OBSERVATIONS SHALL BE MADE AT THE FREQUENCY DESIRED BY THE MUNICIPALITY. AT THE TIME OF ANY OF THE ABOVE LISTED OBSERVATIONS, ALL ONGOING CONSTRUCTION (I.E. STORM DRAINAGE, SANITARY SEWER, WATER, EROSION CONTROL, ETC.) SHALL ALSO BE CHECKED FOR COMPLIANCE WITH THE APPROVED PLANS AND THE FINDINGS REPORTED. SINCE THE ABOVE INSPECTIONS ARE MANDATORY, IT IS RECOMMENDED THAT REQUESTS FOR REDUCTION OF FINANCIAL GUARANTEE TO BE SUBMITTED TO COINCIDE WITH THE ABOVE INSPECTIONS.



KEY MAP

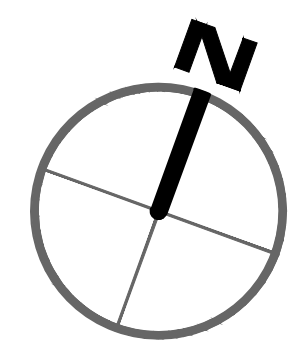
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GRADING & DRAINAGE NOTES

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASUREMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASUREMENT OF THE PROPOSED PIPING.
- SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOFTOP/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
- THE PROPOSED STORMWATER MANAGEMENT BMPs ARE NOT UNDERLAIN BY LIMESTONE.
- CONTRACTORS AND PROPERTY OWNERS SHALL NOT STORE CONSTRUCTION MATERIALS OR LOCATE TRASH RECEPTACLES (I.E. DUMPSTERS) ON THE PAVED CARTWAY OF STREETS.
- ALL MUD FROM CONSTRUCTION ACTIVITIES THAT IS TRACKED ONTO STREETS SHALL BE CLEANED BY THE RESPONSIBLE CONTRACTOR OR PROPERTY OWNER AT THE END OF EACH WORKDAY.
- STORMWATER INLETS OR DRAINAGE PIPES WHICH BECOME FILLED WITH MUD OR DEBRIS FROM CONSTRUCTION ACTIVITIES SHALL BE CLEANED BY THE RESPONSIBLE CONTRACTOR OR PROPERTY OWNER.
- THE DESIGN CALCULATIONS (RATE AND VOLUME) ALLOW FOR UP TO 5,000 SF OF IMPERVIOUS AREA ON EACH LOT (WHICH INCLUDES THE HOUSE, DRIVEWAY, SIDEWALK, AND ANY FUTURE IMPERVIOUS AREA).
- HOUSES REQUIRE ALL DOWNSPOUTS TO DISCHARGE TO THE FRONT YARD IN ORDER TO CONFORM TO THE POST-DEVELOPED DRAINAGE AREA BOUNDARIES - REFER TO PCSM NARRATIVE.
- ALL INLETS SHALL BE CONSTRUCTED WITH CONCRETE FLOW CHANNELS CAST IN-PLACE IN THE BOTTOM OF EACH INLET, EXCEPT THE LAST TWO INLETS BEFORE A STORM SEWER OUTFALL SHALL BE CONSTRUCTED WITH A MINIMUM 12" DEEP SUMP TO CATCH DEBRIS.

STANDARD SWM NOTES

- ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS, AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
- STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO NORTH LEBANON TOWNSHIP, AS REQUIRED BY NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION, OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH NORTH LEBANON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED, AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
- RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT FACILITIES. STORMWATER RUNOFF FROM EXISTING NATURAL SWALES AND/OR OTHER EXISTING DRAINAGE CONVEYORS SHALL NOT BE DIRECTED TOWARDS OR INTERCEPTED BY THE STORMWATER MANAGEMENT FACILITIES.
- TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
- CONTACT NORTH LEBANON TOWNSHIP AT (717) 273-7132 PRIOR TO CONSTRUCTION TO COORDINATE INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE TOWNSHIP ENGINEER. NO OCCUPANCY IS PERMITTED UNTIL STORMWATER MANAGEMENT FACILITIES HAVE BEEN INSTALLED AND APPROVED THROUGH INSPECTION BY THE TOWNSHIP ENGINEER.



150' 75' 0' 150'
SCALE: 1"= 150'

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	SLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	05 - GRADING PLAN

NO.	DATE	DESCRIPTION
1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
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6	06/05/2024	REVISED PER HDP SUBMISSION
7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE

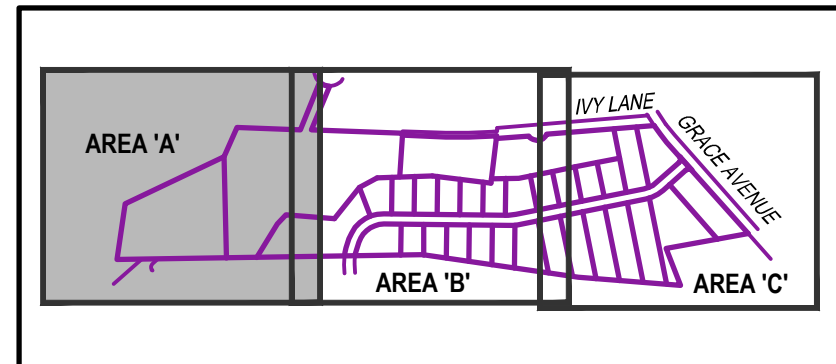
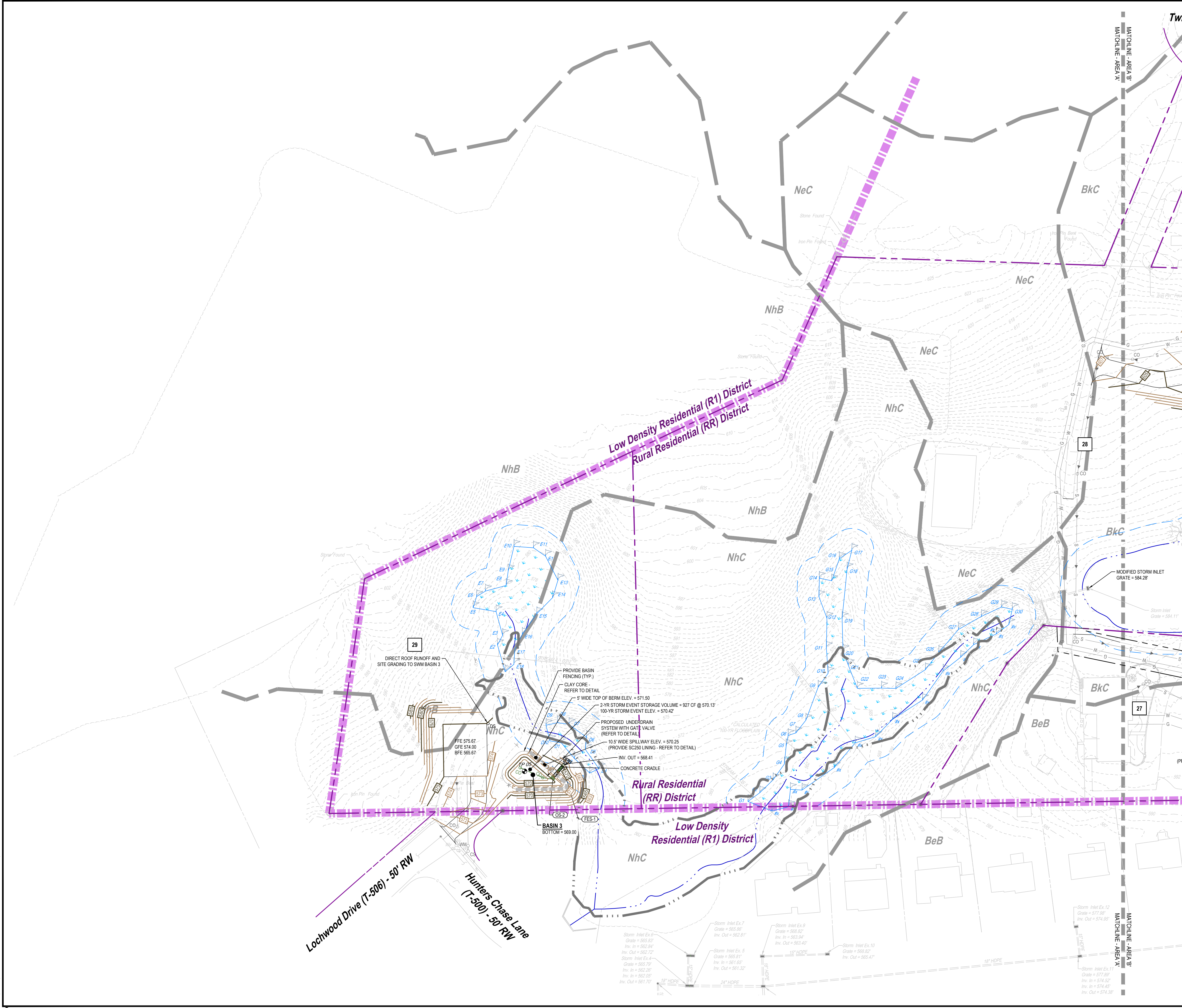
GRADING & DRAINAGE PLAN - OVERALL

SHEET NO.

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FOR PERMITTING PURPOSES ONLY. NOT FOR CONSTRUCTION.

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KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TOP OF CURB
- PROPOSED SPOT ELEVATION: BOTTOM OF CURB
- PROPOSED SPOT ELEVATION: TOP OF WALL
- PROPOSED SPOT ELEVATION: BOTTOM OF WALL
- PROPOSED SPOT ELEVATION: HIGH POINT OR LOW POINT
- PROPOSED SLOPE ARROW
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE STRUCTURE
- PROPOSED STORM INLET STRUCTURE
- PROPOSED 4" PERFORATED UNDERDRAIN
- PROPOSED CLEANOUT
- PROPOSED DOWNSPOUT
- PROPOSED RIPRAP APRON
- CLAY CORE
- INFILTRATION TEST LOCATION

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

CAD FILE:

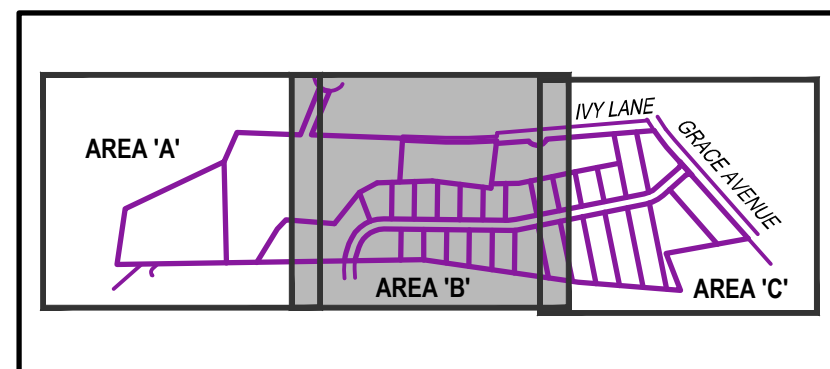
05 - GRADING PLAN

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	4	02/25/2024	REVISED PER TWP, ENGINEER REVIEW COMMENTS
	5	05/15/2024	REVISED PER TWP, ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
	6	06/05/2024	REVISED PER HOP SUBMISSION
	7	09/03/2024	REVISED PER TWP, ENGINEER REVIEW

TITLE
GRADING & DRAINAGE PLAN - AREA 'A'

SHEET NO.

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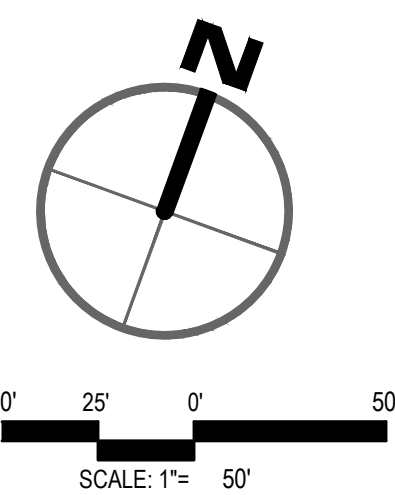


KEY MAP

NOT TO SCALE

LEGEND

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| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | PROPOSED SPOT ELEVATION |
| | PROPOSED SPOT ELEVATION: TOP OF CURB |
| | PROPOSED SPOT ELEVATION: BOTTOM OF CURB |
| | PROPOSED SPOT ELEVATION: TOP OF WALL |
| | PROPOSED SPOT ELEVATION: BOTTOM OF WALL |
| | PROPOSED SPOT ELEVATION: HIGH POINT |
| | PROPOSED SLOPE ARROW |
| | PROPOSED STORM PIPE |
| | PROPOSED STORM MANHOLE STRUCTURE |
| | PROPOSED STORM INLET STRUCTURE |
| | PROPOSED 4\"/> |
| | PROPOSED CLEANOUT |
| | PROPOSED DOWNSPOUT |
| | PROPOSED RIPRAP APRON |
| | CLAY CORE |
| | INFILTRATION TEST LOCATION |



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES

FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

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REVIEWS		DESCRIPTION	
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7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW	

TITLE

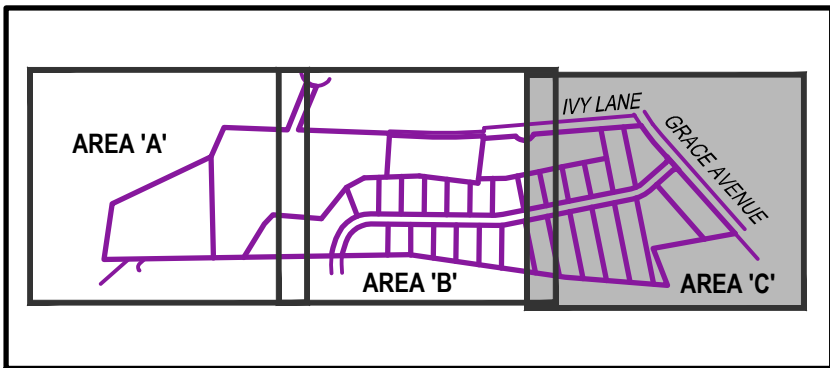
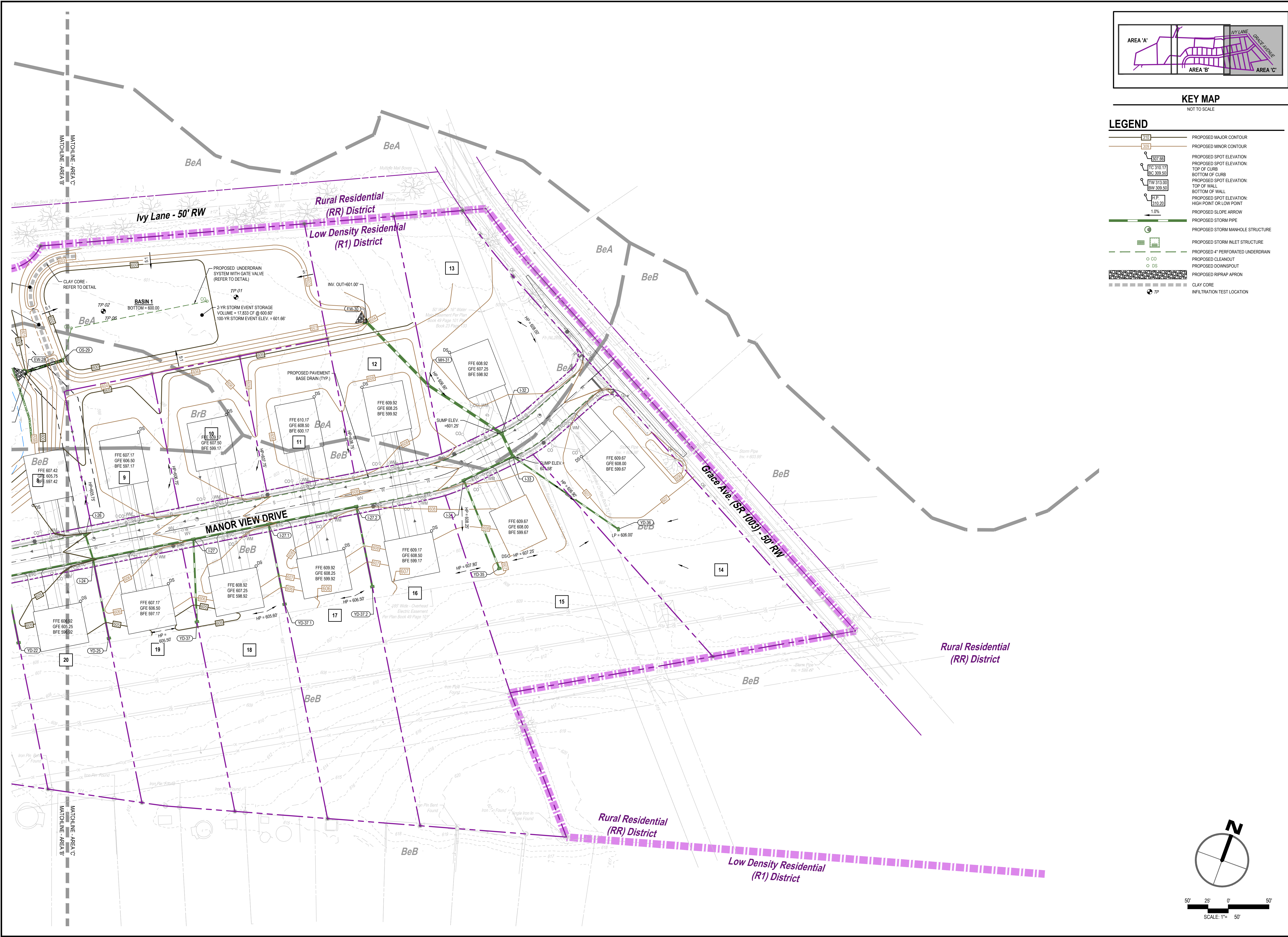
**GRADING &
DRAINAGE PLAN -
AREA 'B'**

SHEET NO.

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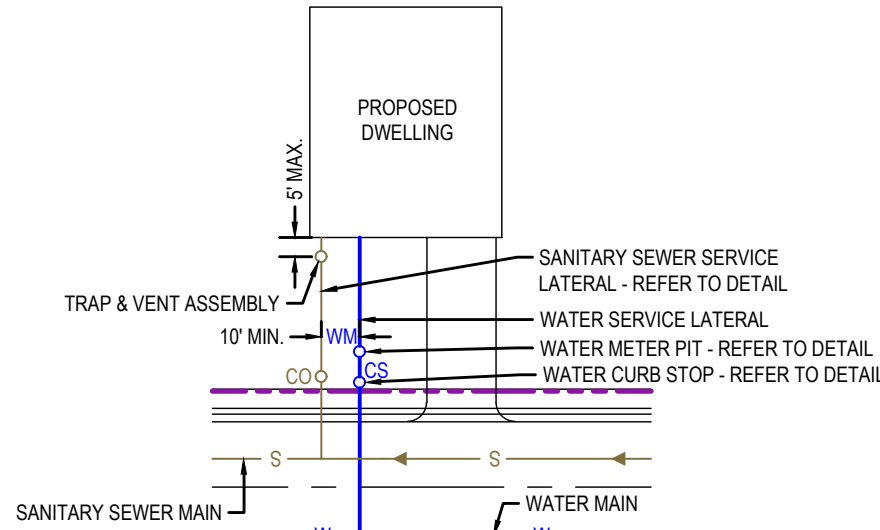
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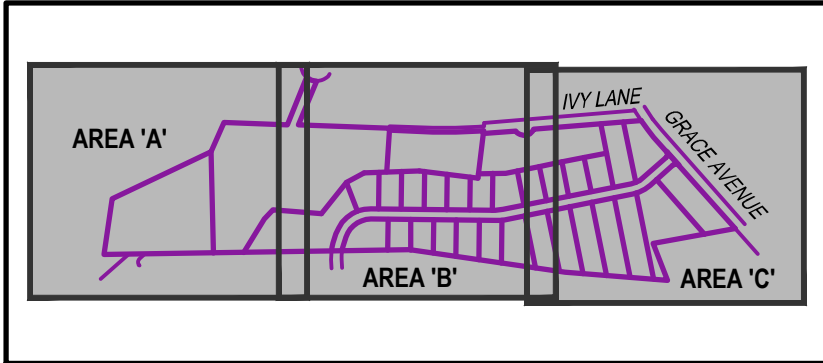
- LEGEND**
- PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
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 - PROPOSED DOWNSPOUT
 - PROPOSED RIPRAP APRON
 - CLAY CORE
 - INFILTRATION TEST LOCATION

PROFESSIONAL SEAL	
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REVIEWED	JKK
SCALE	AS NOTED
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CAD FILE:	05 - GRADING PLAN

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7	09/03/2024 REVISED PER TWP. ENGINEER REVIEW



TYPICAL LATERAL LAYOUT DETAIL

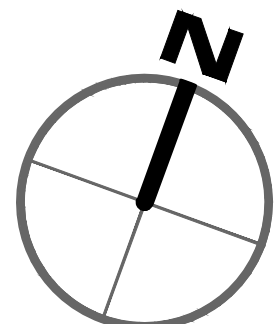
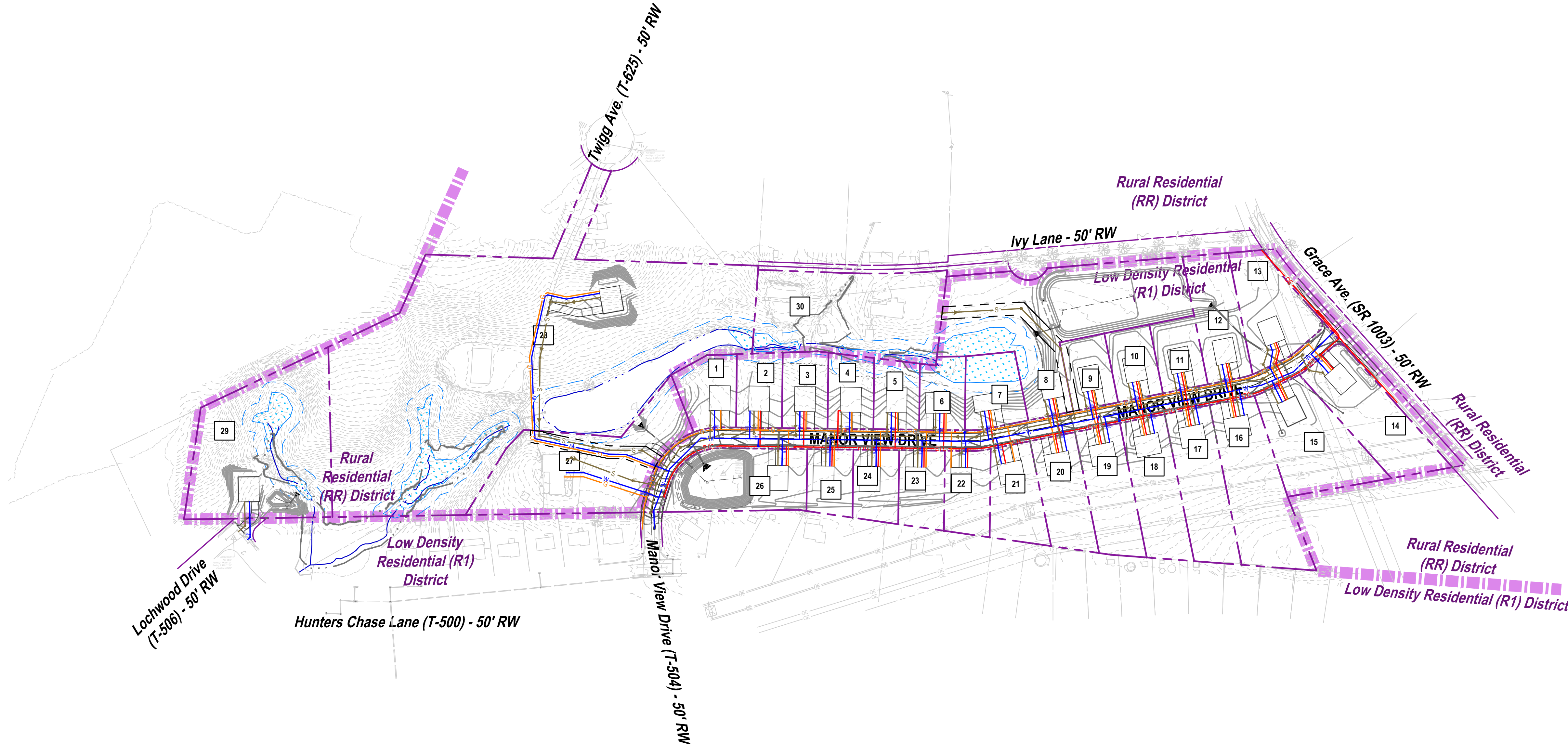


KEY MAP

NOT TO SCALE

UTILITY NOTES

- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRIC, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
- GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART HORIZONTALLY WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
- SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE SHOWN ON PLAN VIEW. THE CONTRACTOR SHALL PROVIDE AND INSTALL, AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
- CITY OF LEBANON AUTHORITY REQUIRES A MAXIMUM WATER MAIN DEPTH OF 3'-6" TO 6'-0" AND A MAXIMUM PIPE DEFLECTION OF 2" OF MANUFACTURER'S SPECIFICATIONS.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
- PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
- ALL SANITARY SEWER WORK SHALL BE COMPLETED ACCORDING TO THE RULES AND REGULATIONS OF THE NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY.
- CLAY DIKES SHALL BE ADDED TO THE SANITARY SEWER TRENCH. SPACING SHALL BE NO GREATER THAN 200 FT AND NO LESS THAN ONE (1) PER SEWER RUN. ANY LATERAL DOWNGRADIENT OF A WET AREA AND/OR A SWIM RIPRAP APRON SHALL CONTAIN CLAY DIKES SPACED ON 50 FT CENTERS. REFER TO DETAIL.
- SEWAGE GRINDER PUMPS SHALL NOT BE PERMITTED FOR USE ON THE PROJECT.
- ALL PROPOSED SANITARY SEWER STRUCTURES & MAIN LINES ARE PROPOSED FOR DEDICATION TO NLTMA. EXCEPTING SANITARY SEWER MANHOLE MV-12. THE ASSOCIATED MAIN LINE INTO MANHOLE MV-8 AND PRIVATE RESIDENTIAL SERVICE LINES/STRUCTURES.
- LOT #30 LANDOWNER SHALL APPLY FOR SEWER PERMIT FOR CONNECTION OF LOT #30 TO PROPOSED PUBLIC SEWER.
- THE PROJECT IS PROPOSED 30 LOT WITH 29 PROPOSED WATER SERVICE CONNECTIONS.
- CURB STOPS ARE TO BE INSTALLED BETWEEN THE CURB AND SIDEWALK WITHIN THE BEAUTY STRIP WITH THE METER PITS INSTALLED ON THE OPPOSITE SIDE OF THE SIDEWALK.
- DURING THE INSTALLATION OF WATER FACILITIES, ONLY 1" VALVE IS TO BE INSTALLED ON EITHER SIDE OF EACH HYDRANT AS DETERMINED IN THE FIELD.



SCALE: 1"= 150'

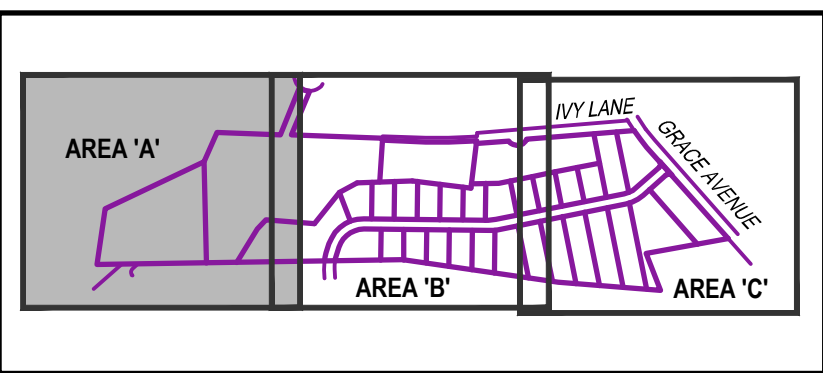
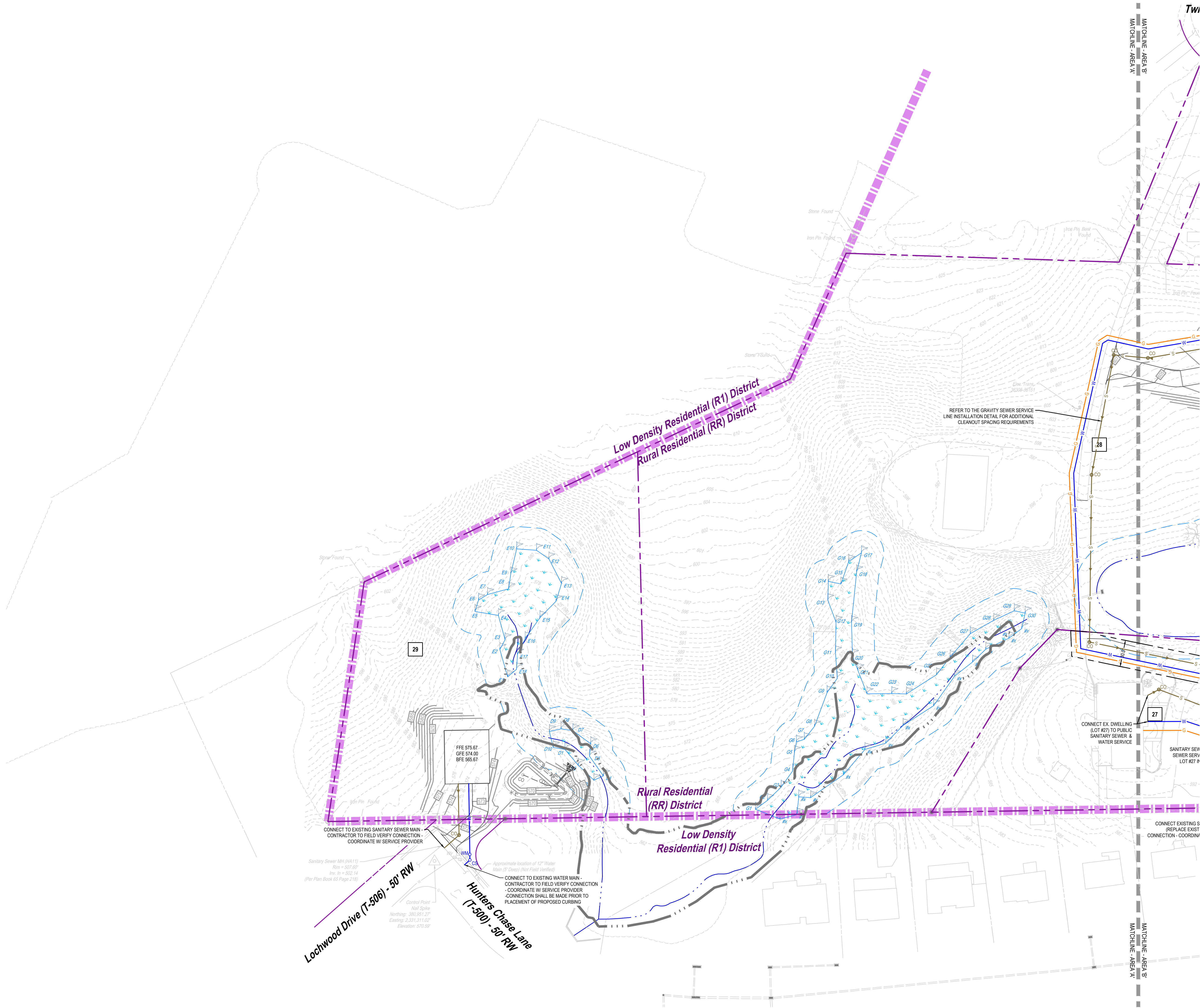
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SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	06 - UTILITY PLAN

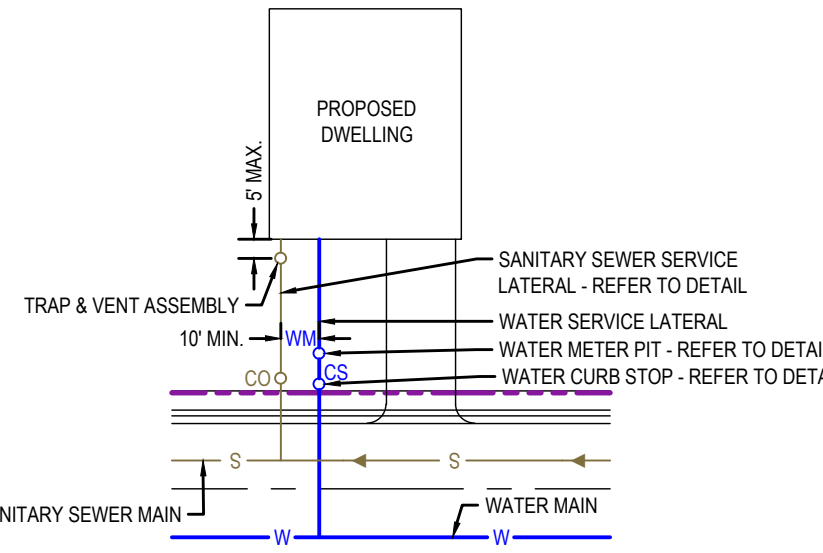
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TITLE
UTILITY PLAN - OVERALL

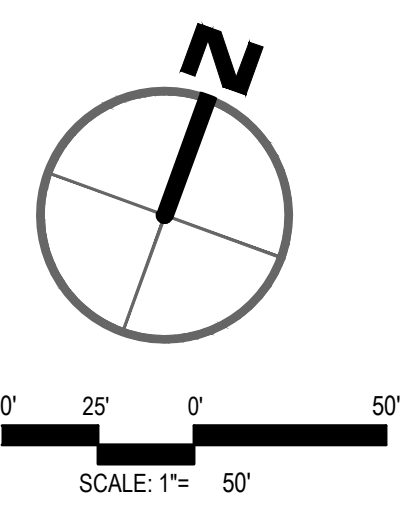
\\0326\\default\\c\\user\\default\\creator\\integrated\\development\\partners\\llc\\p\\data\\projects\\2024\\01-018\\PERRY SUBDIVISION\\DWG\\06 - UTILITY PLAN\\DWG 06 - UTILITY PLAN - AREA 'A'.
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- LEGEND**
- W - PROPOSED WATER LINE
 - WM - PROPOSED WATER METER
 - WV - PROPOSED WATER VALVE
 - CS - PROPOSED WATER CURB STOP
 - S - PROPOSED FIRE HYDRANT
 - S - PROPOSED SANITARY SEWER LINE
 - S - PROPOSED SANITARY MANHOLE
 - CO - PROPOSED CLEANOUT
 - CO - PROPOSED UTILITY POLE
 - ETC - PROPOSED UNDERGROUND ELECTRIC, TELECOMMUNICATION & CABLE LINE
 - G - PROPOSED GAS LINE



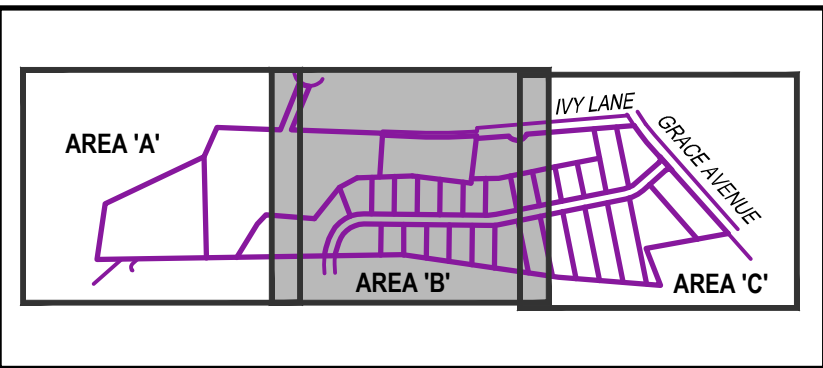
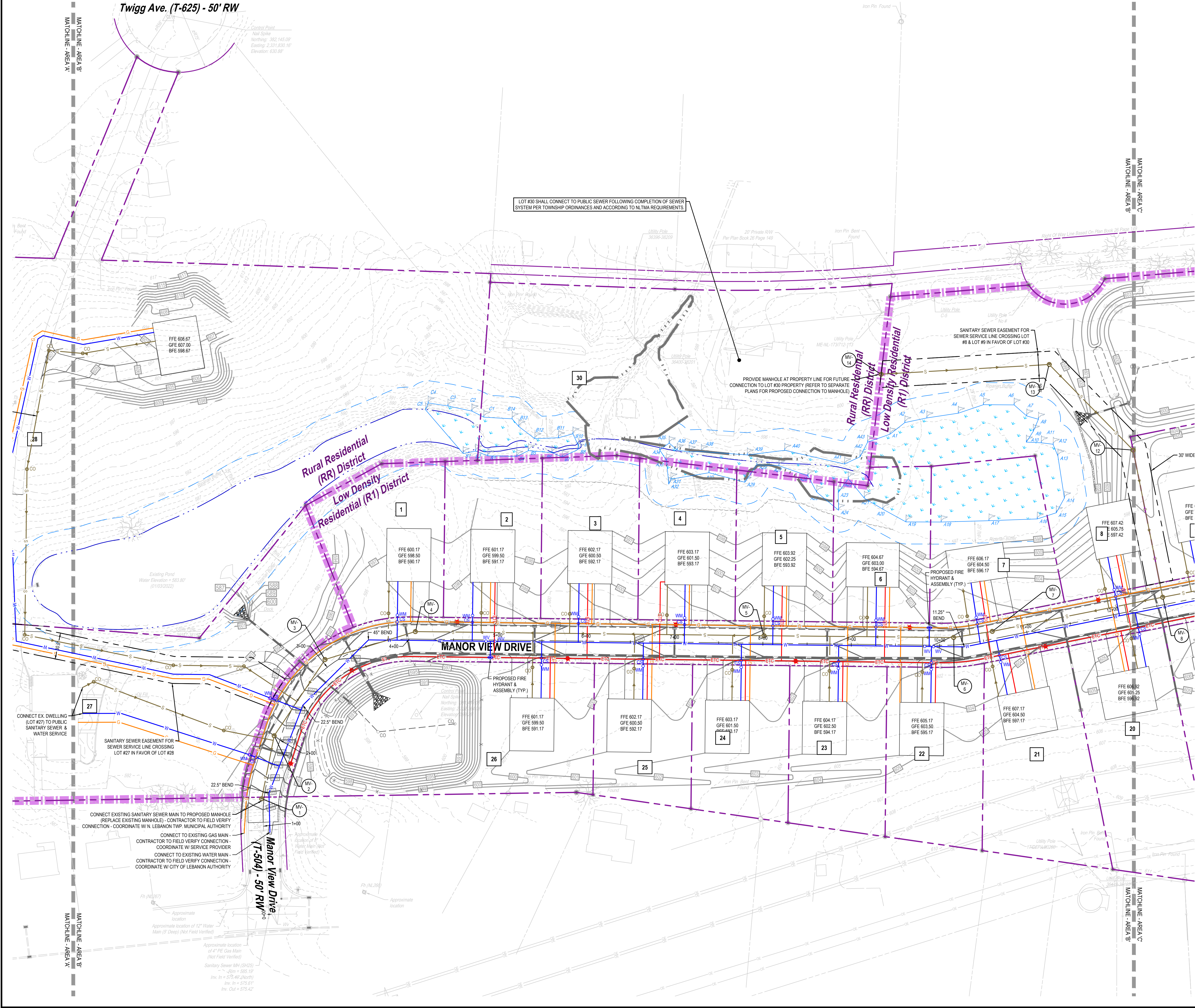
TYPICAL LATERAL LAYOUT DETAIL
SCALE: 1"=50'



PROFESSIONAL SEAL

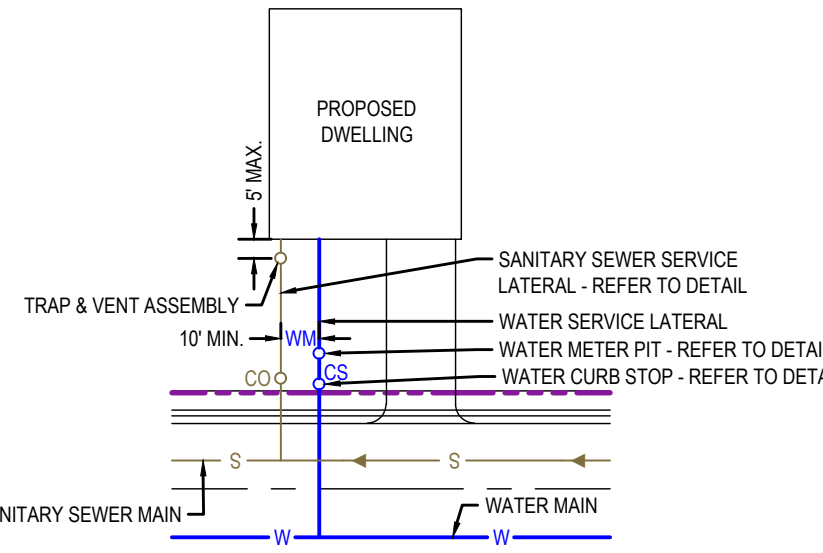
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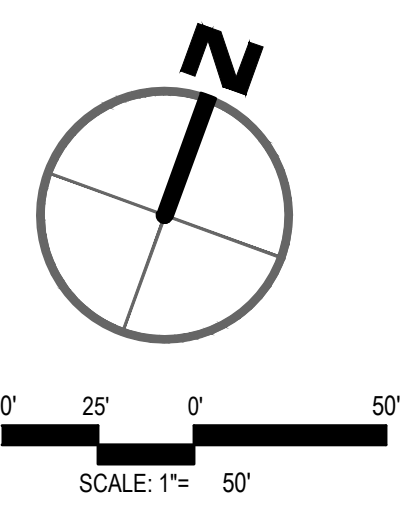


KEY MAP
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 - S - PROPOSED FIRE HYDRANT
 - S - PROPOSED SANITARY SEWER LINE
 - CO - PROPOSED SANITARY SEWER MANHOLE
 - CO - PROPOSED CLEANOUT
 - ETC - PROPOSED UTILITY POLE
 - G - PROPOSED UNDERGROUND ELECTRIC, TELECOMMUNICATION & CABLE LINE
 - G - PROPOSED GAS LINE



TYPICAL LATERAL LAYOUT DETAIL
SCALE: 1"=50'

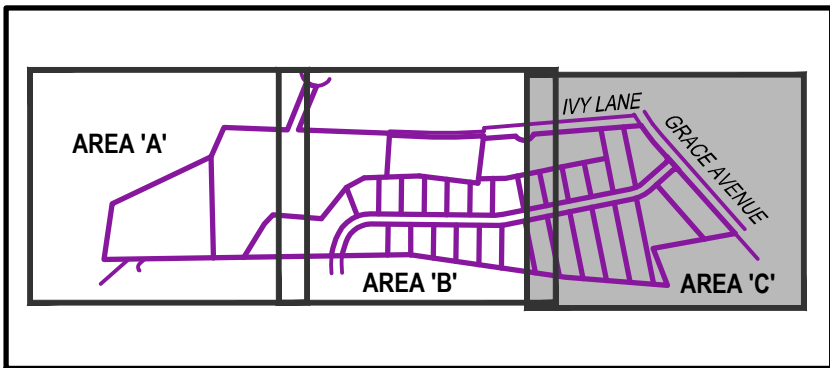
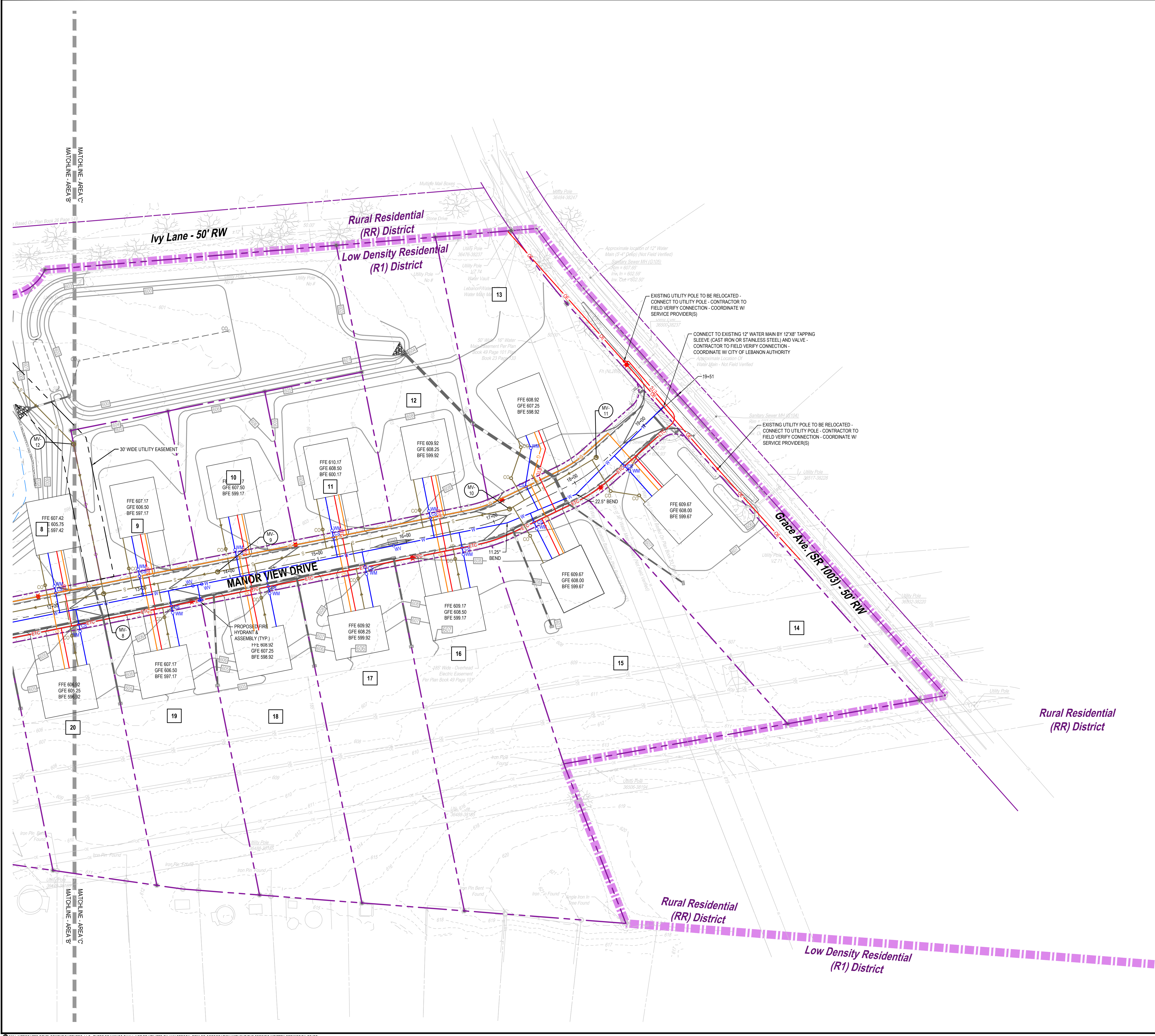


PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	BLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	06 - UTILITY PLAN

REVISIONS	NO.	DATE	DESCRIPTION
	1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEERS & COUNTY REVIEW COMMENTS
	2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEERS & WATER AUTHORITY REVIEW COMMENTS
	3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
	4	02/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
	6	06/05/2024	REVISED PER HDP SUBMISSION
	7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

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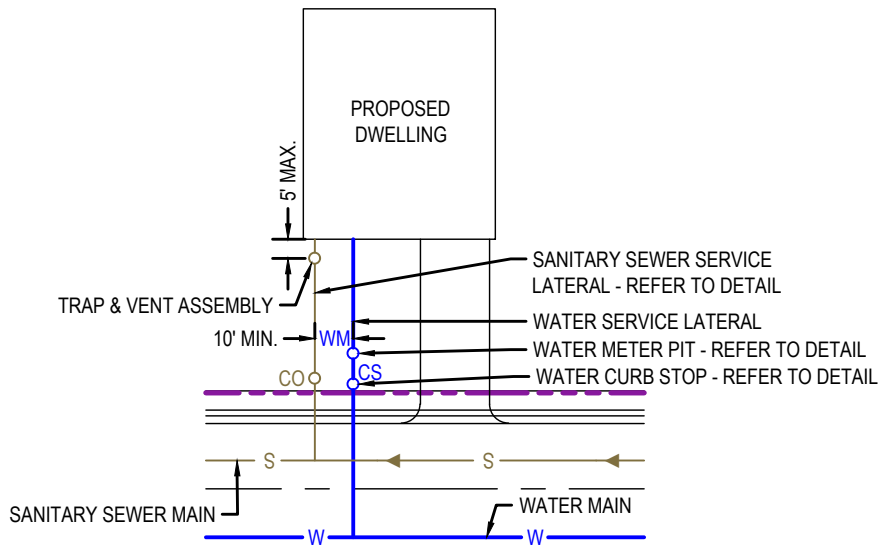


KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED WATER LINE
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- PROPOSED WATER CURB STOP
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEANOUT
- PROPOSED UTILITY POLE
- PROPOSED UNDERGROUND ELECTRIC, TELECOMMUNICATION & CABLE LINE
- PROPOSED GAS LINE



TYPICAL LATERAL LAYOUT DETAIL

SCALE: 1"=50'

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	JKL
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	06 - UTILITY PLAN

REVISIONS	
NO.	DESCRIPTION
1	11/09/2023 REVISED PER TWP, ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
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4	02/26/2024 REVISED PER TWP, ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
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6	06/05/2024 REVISED PER HDP SUBMISSION
7	09/03/2024 REVISED PER TWP, ENGINEER REVIEW

3/3/2024, 9:54:11 AM, C:\Users\default\Desktop\Integrat\Integrat\Development\Partners, LLC\DP - DAT\PROJECTS\2023\2023-01-04\88 PERRY SUBDIVISION\WORK\01.04 - EASEMENT PLAN - AREA 'A'.XLT

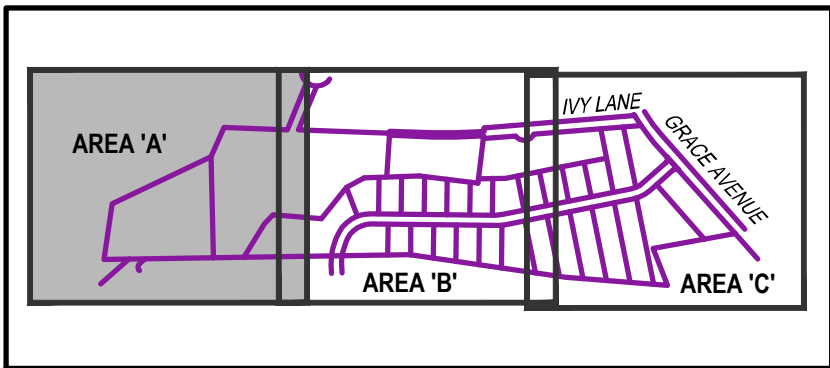
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LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	81.77	S61° 39' 10"E	L54	32.27	N87° 14' 07"W	L102	25.91	N10° 12' 30"W	L163	39.16	N80° 54' 15"W	L229	20.00	N36° 04' 04"W	L304	63.21	S84° 56' 54"E
L2	93.50	S31° 20' 15"E	L55	23.85	S55° 07' 12"W	L103	49.00	N25° 48' 11"W	L164	10.80	N25° 55' 55"E	L230	53.15	N53° 55' 56"E	L305	29.66	N73° 48' 37"E
L3	20.00	S58° 39' 45"W	L56	12.09	S4° 18' 54"W	L104	29.70	N22° 16' 05"E	L165	15.08	N71° 20' 22"E	L231	28.68	N16° 19' 39"W	L306	34.11	N26° 16' 44"W
L4	93.50	N31° 20' 15"W	L57	49.12	S73° 36' 09"W	L105	26.00	S53° 00' 37"E	L166	7.55	N42° 44' 20"E	L232	123.61	N57° 14' 27"E			
L5	20.00	N58° 39' 45"E	L58	73.15	N88° 57' 31"W	L106	20.71	N44° 28' 49"E	L167	30.26	N12° 17' 33"W	L233	128.90	N43° 51' 36"E			
L6	25.84	S51° 48' 49"W	L59	42.95	S81° 02' 17"W	L107	51.94	N78° 02' 47"E	L168	25.86	N5° 00' 14"E	L234	201.27	N44° 56' 02"E			
L7	45.72	S38° 11' 11"E	L60	14.90	S1° 32' 10"W	L108	12.96	S35° 19' 41"E	L169	7.85	S65° 55' 25"E	L235	63.39	N70° 10' 55"E			
L8	35.60	S26° 16' 44"E	L61	13.61	N80° 54' 07"W	L109	18.88	N48° 26' 51"E	L170	23.26	S18° 54' 52"E	L236	36.63	S83° 14' 35"E			
L9	16.50	S62° 54' 14"W	L62	32.63	N28° 28' 14"W	L110	43.09	N36° 00' 02"E	L171	29.12	S33° 28' 51"E	L237	46.51	S19° 54' 02"E			
L10	70.05	N61° 32' 37"E	L63	38.22	N56° 28' 51"W	L111	7.79	S82° 58' 49"E	L172	18.55	S59° 35' 43"E	L238	108.47	S67° 59' 49"W			
L11	75.11	N38° 15' 47"W	L64	40.65	N28° 49' 04"E	L112	32.69	N26° 39' 39"E	L173	19.90	S53° 59' 14"E	L239	98.27	S41° 10' 23"W			
L12	16.60	N51° 46' 40"E	L65	30.12	N73° 23' 56"E	L113	19.91	S47° 04' 03"E	L174	18.01	S89° 20' 00"E	L240	44.55	N76° 40' 31"W			
L13	5.50	S27° 48' 06"W	L66	23.73	N27° 24' 39"E	L114	42.17	S36° 19' 01"W	L175	28.45	S58° 12' 21"E	L241	88.12	S70° 43' 00"W			
L14	118.10	N40° 02' 37"W	L67	8.08	N5° 53' 29"W	L115	106.07	S16° 39' 10"E	L176	7.70	S41° 02' 50"E	L242	162.32	S81° 36' 43"W			
L15	73.46	N61° 39' 10"W	L68	32.26	N23° 56' 12"E	L116	106.07	N23° 56' 12"E	L177	9.70	N73° 55' 15"E	L243	2.40	N19° 15' 12"W			
L16	13.00	N61° 39' 10"W	L69	39.98	N23° 40' 10"E	L117	150.00	N61° 39' 10"W	L178	35.56	S51° 25' 25"E	L244	31.26	S74° 20' 05"W			
L17	266.61	N67° 06' 52"E	L70	28.99	N19° 31' 27"E	L118	74.35	N26° 20' 50"E	L179	15.06	S45° 07' 16"E	L245	28.83	S22° 18' 46"E			
L18	22.88	S68° 51' 36"W	L71	5.67	S78° 30' 28"E	L119	22.82	N12° 08' 45"W	L180	20.17	S68° 59' 09"E	L246	190.67	N81° 49' 55"E			
L19	82.19	S31° 27' 56"E	L72	20.50	S7° 09' 40"W	L120	82.23	N61° 39' 10"W	L181	13.12	S43° 32' 00"E	L247	40.11	N70° 43' 00"E			
L20	51.01	N66° 31' 49"E	L73	49.76	S15° 39' 07"W	L121	5.50	N26° 30' 54"E	L182	11.12	S16° 48' 06"E	L248	73.64	S88° 55' 47"E			
L21	25.82	S54° 35' 15"E	L74	12.28	S22° 54' 05"E	L122	77.53	S62° 39' 10"E	L183	53.70	S69° 07' 01"W	L249	11.78	S11° 07' 48"W			
L22	71.45	S28° 20' 50"W	L75	31.37	S44° 26' 08"E	L123	24.52	S17° 31' 47"W	L184	192.86	S69° 07' 01"W	L250	13.60	S74° 53' 34"W			
L23	77.09	S31° 20' 15"E	L76	39.89	S46° 48' 02"E	L124	18.95	S29° 56' 45"W	L185	86.64	N58° 39' 45"E	L251	130.37	S18° 44' 15"W			
L24	20.00	S58° 39' 45"W	L77	39.51	S38° 05' 40"W	L125	9.66	S2° 15' 31"W	L186	47.34	N24° 34' 03"E	L252	107.22	S70° 40' 52"E			
L25	77.09	N31° 20' 15"W	L78	37.01	N76° 01' 59"W	L126	44.55	S20° 40' 08"W	L187	50.35	N87° 56' 51"E	L253	104.90	N70° 40' 52"W			
L26	20.00	N58° 39' 45"E	L79	286.31	N70° 40' 26"E	L127	41.36	S30° 27' 11"W	L188	39.24	S52° 25' 54"E	L254	41.66	S18° 44' 15"W			
L27	76.89	S44° 18' 02"W	L80	163.10	N66° 38' 30"E	L128	59.20	S55° 54' 52"W	L189	27.79	S10° 25' 23"E	L255	105.31	S64° 13' 03"E			
L28	631.50	S58° 39' 45"W	L81	20.05	S19° 19' 34"E	L129	31.63	S17° 32' 24"W	L190	38.07	S69° 07' 01"W	L256	20.00	S58° 39' 45"W			
L29	690.58	S70° 40' 26"W	L82	162.39	S66° 38' 30"W	L130	10.44	S47° 43' 12"W	L191	46.61	S87° 39' 55"W	L257	98.01	S31° 23' 00"E			
L30	47.01	S2° 09' 03"E	L83	287.01	S70° 40' 26"W	L131	23.93	S1° 37' 23"W	L192	32.46	N47° 38' 45"W	L258	20.00	N58° 37' 00"E			
L31	0.51	S69° 07' 01"W	L84	8.44	S19° 19' 34"E	L132	15.20	S22° 41' 22"W	L193	254.52	S69° 07' 01"W	L259	97.99	N31° 23' 00"W			
L32	47.01	N2° 09' 03"W	L85	182.14	S69° 07' 01"W	L133	98.93	S69° 07' 01"W	L194	73.01	N13° 07' 41"W	L260	20.00	S58° 39' 45"W			
L33	90.42	N70° 40' 26"E	L86	71.36	N42° 13' 18"W	L134	138.01	N69° 07' 01"E	L195	146.71	S75° 25' 23"E	L261	98.00	N31° 20' 15"W			
L34	120.44	S19° 19' 34"E	L87	600.58	N70° 40' 26"E	L135	10.78	N15° 49' 57"W	L196	20.00	S19° 50' 39"W	L262	20.00	N58° 39' 45"E			
L35	39.70	S64° 50' 32"W	L88	100.00	N58° 39' 45"E	L136	32.05	N5° 37' 06"W	L197	157.35	N75° 25' 41"W	L263	98.00	S31° 20' 15"E			
L36	75.45	N79° 26' 40"E	L89	631.50	N58° 39' 45"E	L137	37.46	N49° 13' 16"W	L198	22.87	N43° 34' 03"E	L264	74.35	S28° 20' 50"W			
L37	122.86	N74° 30' 00"E	L90	76.89	N44° 18' 02"E	L138	83.35	S87° 01' 23"W	L199	117.30	S41° 55' 54"E	L265	76.89	S44° 18' 02"W			
L38	22.00	N37° 02' 09"E	L91	34.50	N45° 00' 59"E	L139	148.69	N31° 20' 15"W	L200	20.00	S48° 04' 06"W	L266	631.50	S58° 39' 45"W			
L39	56.44	N82° 04' 55"E	L92	10.08	N76° 11' 58"E	L140	186.38	S66° 40' 59"W	L201	115.80	N41° 55' 54"W	L267	600.58	S70° 40' 26"W			
L40	10.40	N46° 46' 00"E	L93	24.03	N14° 27' 07"E	L141	30.48	N13° 07' 41"W	L202	68.71	N22° 25' 04"W	L268	47.01	S2° 09' 03"E			
L41	24.50	N77° 56' 23"E	L94	9.03	N83° 35' 39"E	L142	194.64	N66° 40' 59"E	L203	27.01	N31° 20' 15"W	L269	0.50	S69° 07' 01"W			
L42	25.33	S48° 50' 18"E	L95	23.93	N34° 09' 36"E	L143	146.95	S64° 24' 02"E	L204	24.48	N58° 39' 45"E	L270	47.01	N2° 09' 03"W			
L43	31.77	S1° 37' 29"E	L96	10.48	N18° 27' 05"W	L144	157.60	S31° 20' 15"E	L205	91.10	S22° 25' 04"E	L271	600.58	N70° 40' 26"E			
L44	79.90	S11° 33' 53"W	L97	14.88	N22° 36' 54"E	L145	30.00	S58° 39' 45"W	L206	167.48	S74° 20' 05"W	L272	631.50	N58° 39' 45"E			
L45	26.71	N88° 12' 30"W	L98	23.24	N50° 48' 03"E	L146	15.68	N41° 20' 09"W	L207	44.89	N62° 54' 14"W	L273	76.89	N44° 18' 02"E			
L46	19.67	N41° 08' 38"W	L99	17.79	N17° 52' 29"E	L147	15.47	N32° 04' 21"E	L208	48.40	S53° 55' 56"W	L274	71.50	N28° 20' 50"E			

PARCEL CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	TANGENT LENGTH	CHORD DIRECTION	CHORD LENGTH
C1??	39.27	50.00	20.71	N44° 55' 22"E	38.36
C1	48.87	175.50	24.59	S36° 19' 26"W	48.71
C3	158.88	125.00	92.20	N34° 15' 41"E	148.40
C4	43.99	175.50	22.11	S51° 28' 53"W	43.88
C5	47.27	225.50	23.72	S64° 40' 05"W	47.19
C6	158.24	124.50	91.83	S34° 15' 41"W	147.80
C7	20.07	175.00	10.04	N43° 47' 03"E	20.06
C8	22.49	139.50	11.27	S6° 46' 11"E	22.47
C9	36.61	175.00	18.37	N10° 45' 40"E	36.55
C10	22.66	140.00	11.35	N6° 47' 13"W	22.63
C12	47.17	225.00	23.67	N64° 40' 05"E	47.08
C13	43.87	175.00	22.05	N51° 28' 53"E	43.75
C14	48.73	175.00	24.52	N36° 19' 26"E	48.57
C15	31.42	20.00	20.00	N73° 20' 50"E	28.28
C19	20.12	175.00	10.07	S25° 20' 05"W	20.11
C45	31.42	20.00	20.00	S16° 39' 10"E	28.28
C47	34.80	125.00	17.52	S36° 19' 26"W	34.69
C49	31.33	125.00	15.75	S51° 28' 53"W	31.25
C51	36.69	175.00	18.41	S64° 40' 05"W	36.62
C53	222.43	175.00	129.08	S34° 15' 41"W	207.76
C55	35.53	190.00	17.82	S7° 30' 31"E	35.48
C56	3.52	190.00	1.76	S13° 23' 48"E	3.52
C58	3.59	190.50	1.79	N13° 24' 21"W	3.59
C59	35.63	190.50	17.87	N7° 30' 31"W	35.58
C61	223.07	175.50	129.45	N34° 15' 41"E	208.35
C63	36.58	174.50	18.36	N64° 40' 05"E	36.51
C65	31.21	124.50	15.69	N51° 28' 53"E	31.13
C67	34.67	124.50	17.45	N36° 19' 26"E	34.55

Bruce D. & Brid A. Fisher
Tax Parcel 27-2330415-502913
Deed Ref. 2316-5972

Low Density Residential (R1) District
Rural Residential (RR) District

Lochwood Drive (T-506) - 50' RW
Hunters Chase Lane (T-500) - 50' RW



KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED ACCESS EASEMENT
- PROPOSED UTILITY OR CLEAR SIGHT TRIANGLE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED FLOODPLAIN EASEMENT
- *TIE-IN LINE TO SURVEY CONTROL POINT

EASEMENT NOTES

- ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
- MUNICIPAL AND COUNTY OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS VIA STREET RIGHT-OF-WAY AND EASEMENTS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITIES.
- DRAINAGE EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY DRAINAGE EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONALITY OF THE FACILITY OR EASEMENT IN ANY WAY.



PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

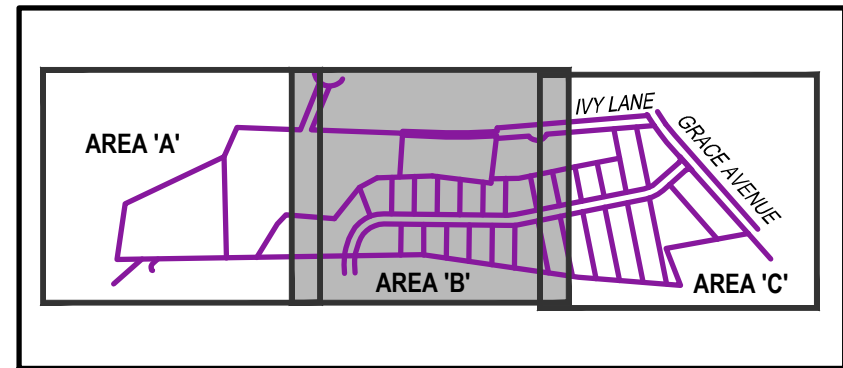
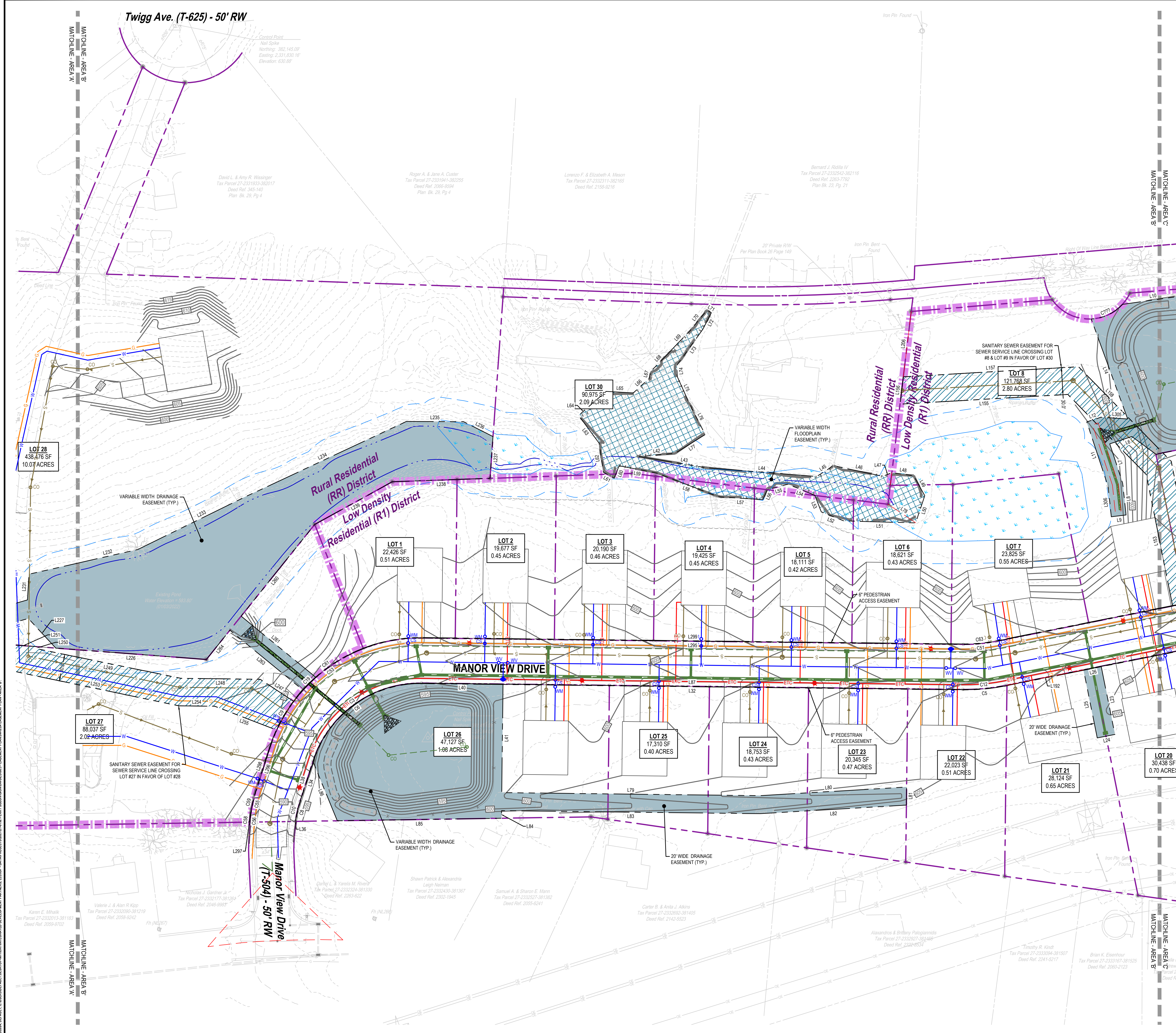
LEBANON COUNTY

PROFESSIONAL SEAL

DRAWN	MLS
REVIEWED	JKL
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192

CAD FILE:
06.5 - EASEMENT PLAN

NO.	DATE
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KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED ACCESS EASEMENT
- PROPOSED UTILITY OR CLEAR SIGHT TRIANGLE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED FLOODPLAIN EASEMENT
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430 NORTH FRONT STREET
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717.878.8750
www.integratedconsultingllc.com

PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

FOR

MANOR VIEW ESTATES

FOR

ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

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6	06/05/2024	REVISED PER HCP SUBMISSION
7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE

EASEMENT PLAN - AREA 'B'

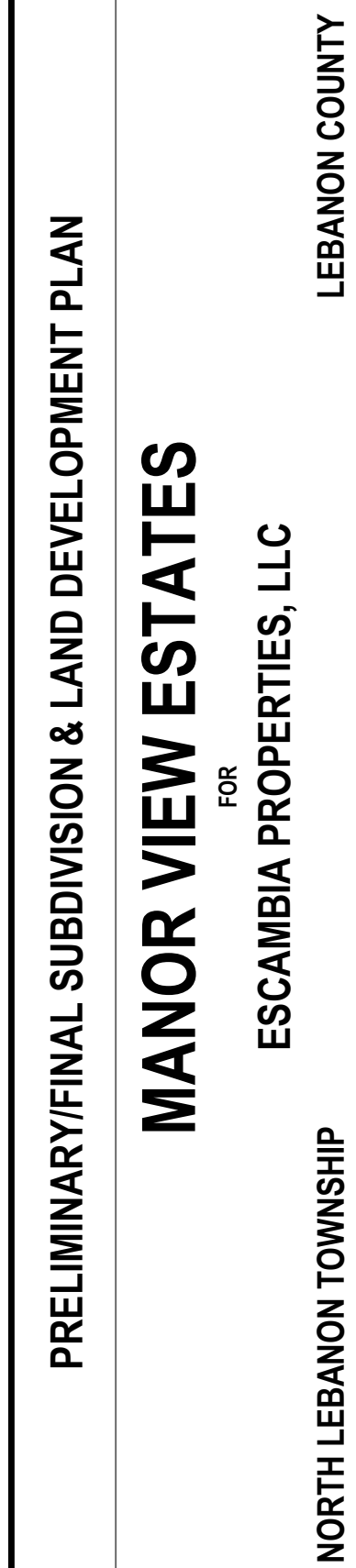
SHEET NO.

24 of 39

SCALE: 1"= 50'

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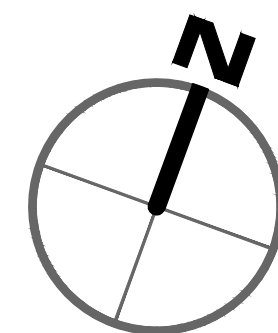
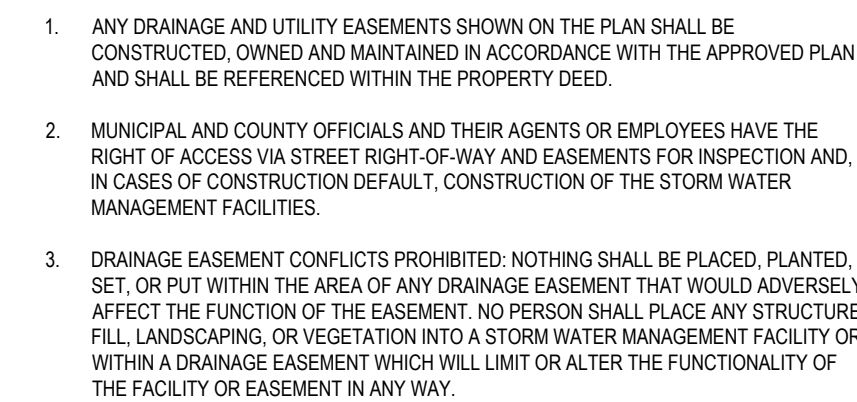
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2	01/09/2025	REVISION PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	02/05/2024	REVISION PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISION PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/03/2024	REVISED PER TWP. SUBMISSION
7	09/02/2024	REVISED PER TWP. ENGINEER REVIEW

SHEET NO.

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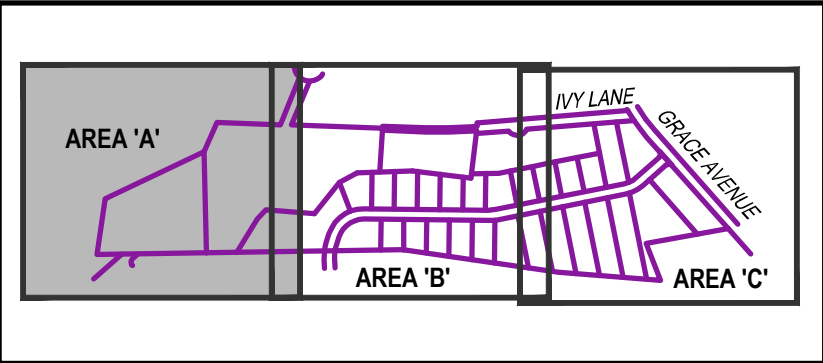
ORDINANCE REQUIREMENTS - LEBANON COUNTY SALDO

SECTION:	REQUIRED	PROPOSED	WAIVER
5.02.G	NO PLANTINGS OTHER THAN GRASS SHALL BE ERECTED WITHIN UTILITY/STORM EASEMENTS	COMPLIES	NO
5.10.C.8.a	STREET TREES	COMPLIES	NO

LANDSCAPING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
DECIDUOUS TREES						
GT	27	Gleditsia triacanthos in. Skyline	Skyline Seedless Honeylocust	2.5" cal	B/B	6' Br./Full heads
TCG	27	Tilia cordata "GreenSpire"	GreenSpire Linden	2.5" cal	B/B	6' Br./Full heads

NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK.



KEY MAP

NOT TO SCALE

LEGEND

- PROPOSED STREET TREES
 - GT
 - TCG
- PROPOSED BASIN SEED MIXTURE
- PROPOSED PLUGS AND BASIN SEED MIXTURE
- PROPOSED CLEAR SIGHT TRIANGLE



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MANOR VIEW ESTATES
FOR
ESCAMBIA PROPERTIES, LLC

NORTH LEBANON TOWNSHIP

LEBANON COUNTY

PROFESSIONAL SEAL

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DATE	08/11/2023
PROJECT NO.	21-0192

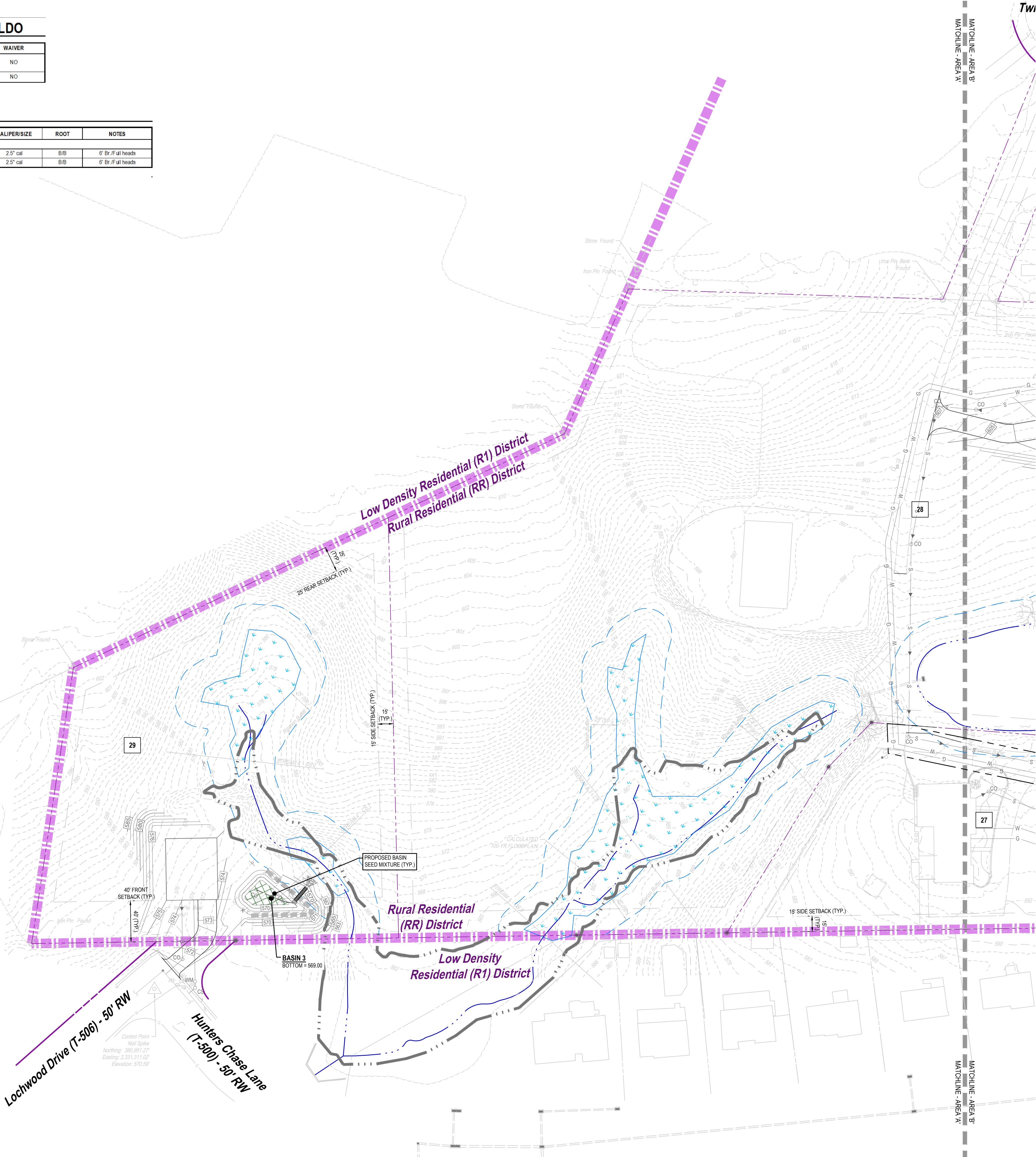
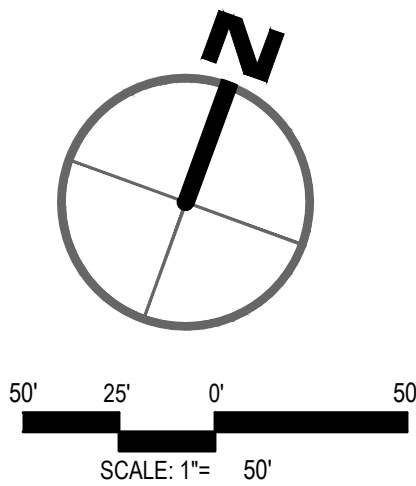
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07 - LANDSCAPE PLAN

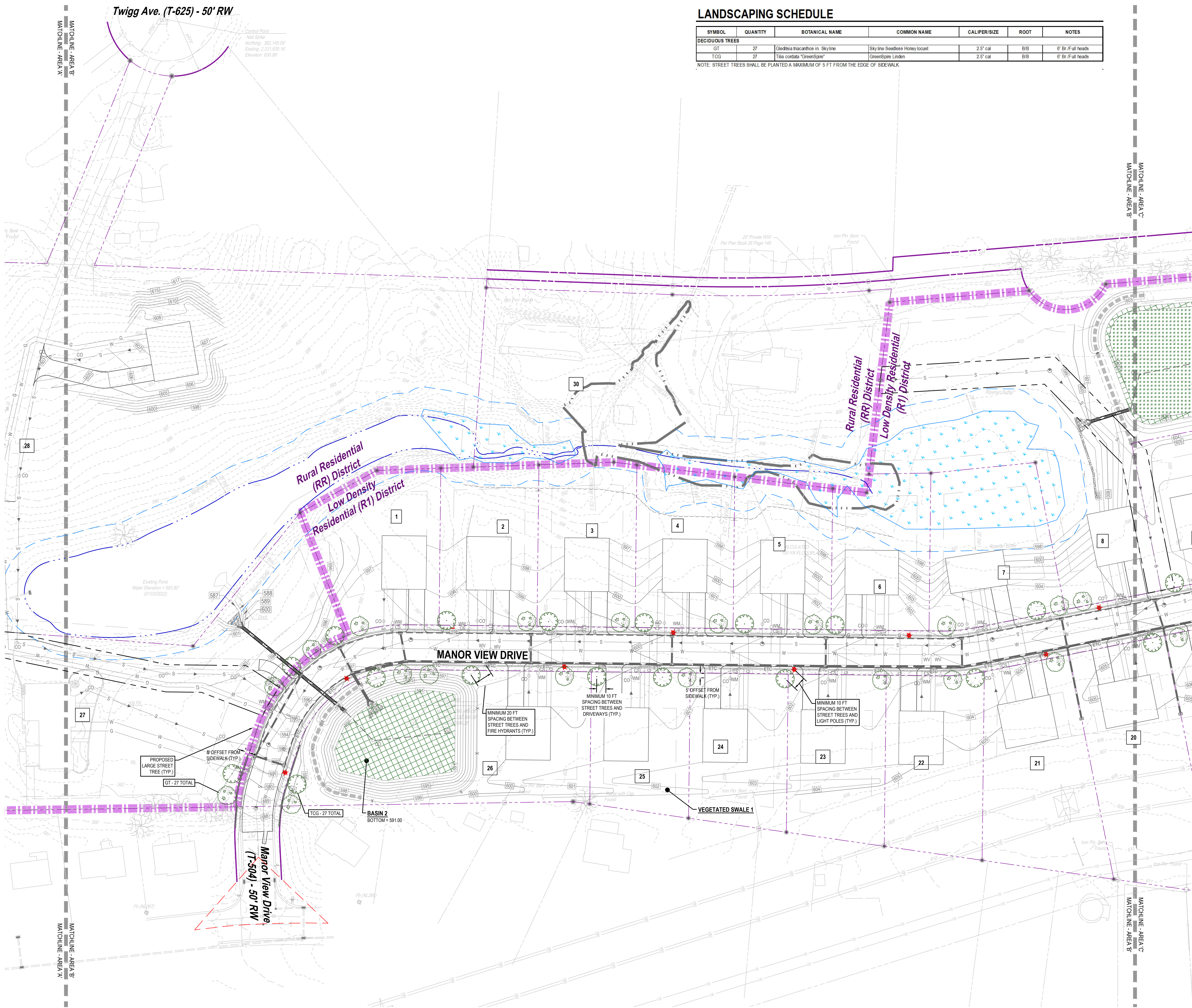
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7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE
LANDSCAPE PLAN
- AREA 'A'

SHEET NO.

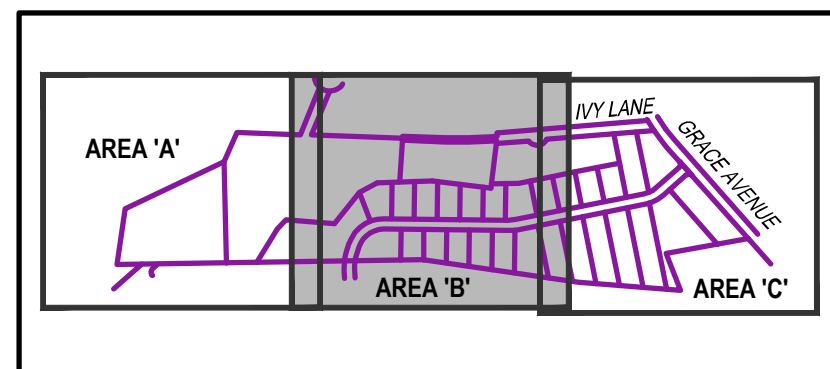
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LANDSCAPING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
DECIDUOUS TREES						
GT	27	Gleditsia triacanthos in. Skyline	Skyline Seedless Honey Locust	2.5" cal	B/B	6' Br./Full heads
TCG	27	Tilia cordata "GreenSpire"	GreenSpire Linden	2.5" cal	B/B	6' Br./Full heads

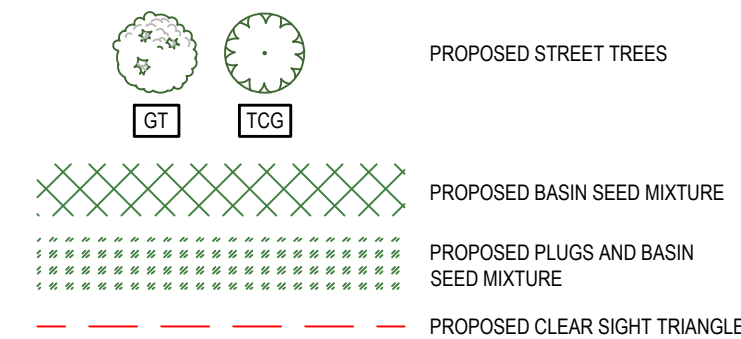
NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK



KEY MAP

NOT TO SCALE

LEGEND



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DATE 08/11/2023

PROJECT NO. 21-0192

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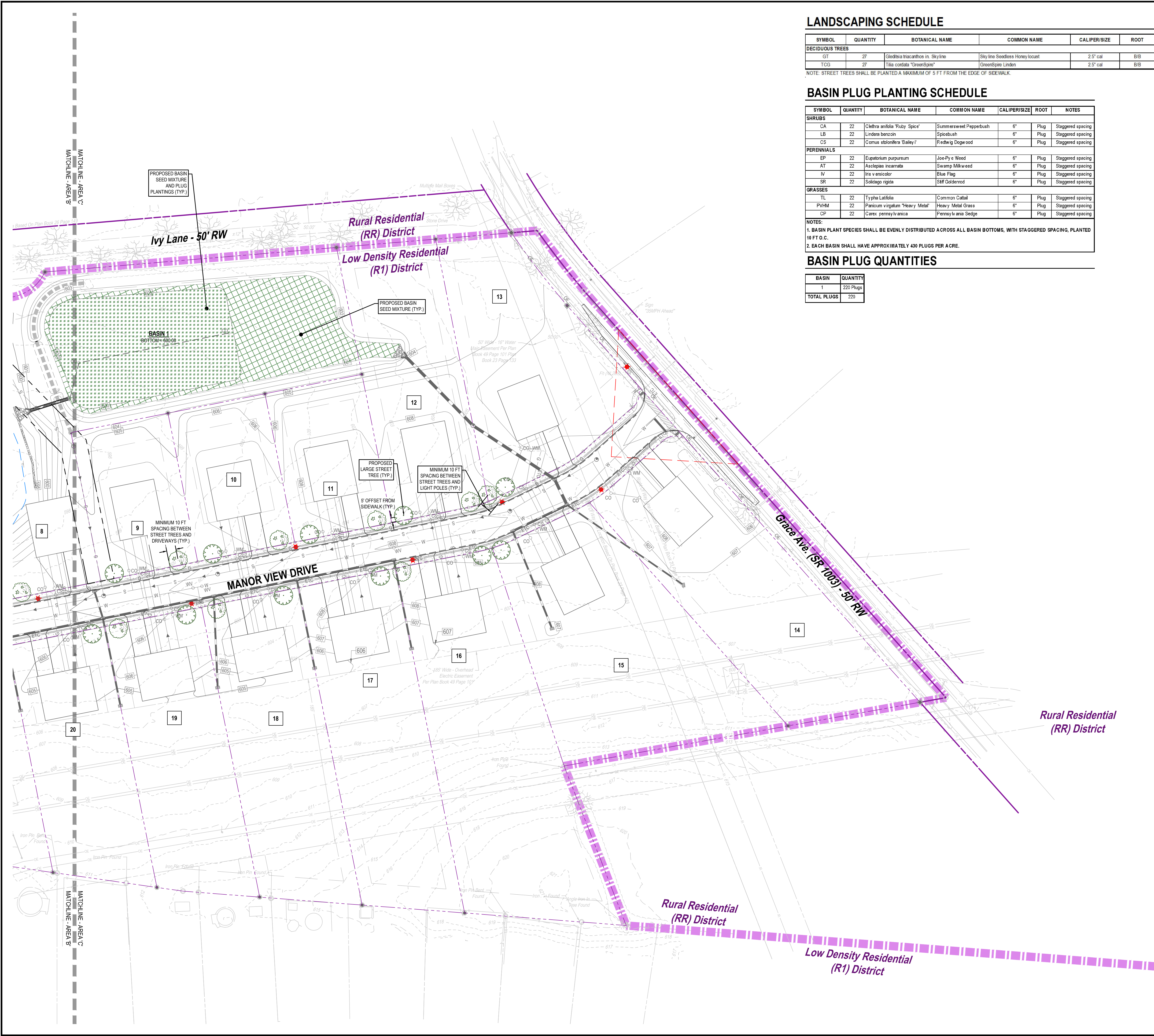
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LANDSCAPING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
DECIDUOUS TREES						
GT	27	Gleditsia triacanthos 'Skyline'	Skyline Seedless Honey Locust	2.5" cal	B/B	6' Br./Full heads
TCG	27	Tilia cordata 'GreenSpire'	GreenSpire Linden	2.5" cal	B/B	6' Br./Full heads

NOTE: STREET TREES SHALL BE PLANTED A MAXIMUM OF 5 FT FROM THE EDGE OF SIDEWALK.

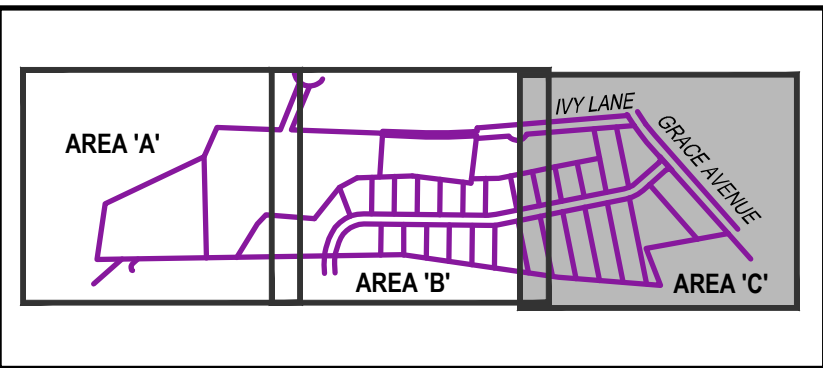
BASIN PLUG PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/SIZE	ROOT	NOTES
SHRUBS						
CA	22	Clethra alnifolia 'Ruby Spice'	Summersweet Pepperbush	6"	Plug	Staggered spacing
LB	22	Lindera benzoin	Spicebush	6"	Plug	Staggered spacing
CS	22	Cornus stolonifera 'Bailey's'	Redwing Dogwood	6"	Plug	Staggered spacing
PERENNIALS						
EP	22	Eupatorium purpureum	Joe-Pye Weed	6"	Plug	Staggered spacing
AT	22	Asclepias incarnata	Swamp Milkweed	6"	Plug	Staggered spacing
IV	22	Iris versicolor	Blue Flag	6"	Plug	Staggered spacing
SR	22	Solidago rigida	SHT Goldenrod	6"	Plug	Staggered spacing
GRASSES						
TL	22	Typha latifolia	Common Cattail	6"	Plug	Staggered spacing
PVHM	22	Panicum virgatum 'Heavy Metal'	Heavy Metal Grass	6"	Plug	Staggered spacing
CP	22	Carex pennsylvanica	Pennsylvania Sedge	6"	Plug	Staggered spacing

NOTES:
1. BASIN PLANT SPECIES SHALL BE EVENLY DISTRIBUTED ACROSS ALL BASIN BOTTOMS, WITH STAGGERED SPACING, PLANTED 10 FT O.C.
2. EACH BASIN SHALL HAVE APPROXIMATELY 430 PLUGS PER ACRE.

BASIN PLUG QUANTITIES

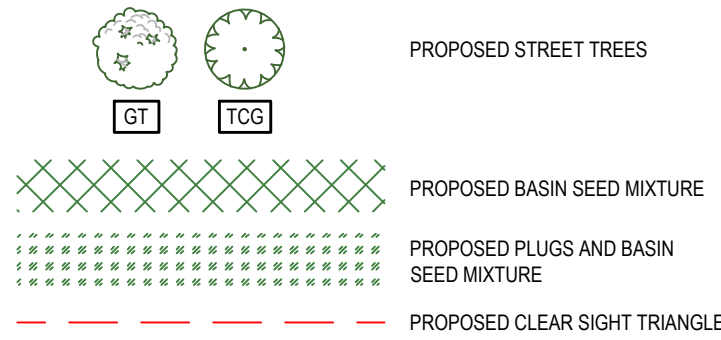
BASIN	QUANTITY
1	220 Plugs
TOTAL PLUGS	220



KEY MAP

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LEGEND



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LEBANON COUNTY

PROFESSIONAL SEAL

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CAD FILE:	07 - LANDSCAPE PLAN

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TITLE

LANDSCAPE PLAN

- AREA 'C'

SHEET NO.

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FOR PERMITTING PURPOSES ONLY. NOT FOR CONSTRUCTION.

1. THE LANDSCAPE PLAN AND DETAIL ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE PLAN, LIGHTING PLAN, GRADING AND DRAINAGE PLAN, AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. ALL EXISTING VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OF THE PROPOSED PLAN OF DEVELOPMENT. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION FROM DAMAGE DUE TO EQUIPMENT USE.
3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR. THE WARRANTY PERIOD BEGINS WHEN THE MAINTENANCE BOND FOR PUBLIC IMPROVEMENTS BEGINS. PLANT MATERIAL WHICH HAS DIED OR BECOME DISEASED OR FRET-RIDDEN SHALL BE REMOVED AND REPLACED WITHIN 6 MONTHS BY THE DEVELOPER AS REQUIRED TO MEET THE DESIGN OF THE ORIGINALLY APPROVED LANDSCAPE PLAN.
4. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAINAGE AND/OR OVERHEAD UTILITY SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACQUIRED BY THE SUPPLY NURSERY TO THE LOCAL HARDNESS ZONE.
5. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, UTILITY LOCATIONS AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL OF OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
6. UTILITY LOCATIONS SHOWN IN THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTORS NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
7. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3". MULCH SHALL BE TRIPLE-SHREDDED HARDWOOD BARK MULCH TO BE SELECTED BY OWNER.
8. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR, STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
9. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE AND GRADING PLANS AND ALTA/MSM LAND TITLE SURVEY PLANS. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTORS NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.

1. LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF RECORD OR THEIR DELEGATED REPRESENTATIVE TO PROPERLY MAINTAIN AND CARE FOR ANY LANDSCAPE SCREEN OR OTHER TREATMENT AS APPROVED BY THE NORTH LEBANON TOWNSHIP.
2. NEWLY PLANTED TREES AND SHRUBS REQUIRE DEEP, REGULAR WATERING THROUGHOUT THE FIRST GROWING SEASON AND AS SUCH, MAY REQUIRE SUPPLEMENTAL WATERING AFTER THE FIRST FULL GROWING SEASON. TREES AND SHRUBS SHOULD NOT REQUIRE SUPPLEMENTAL WATER EXCEPT IN EXTREMELY DRY GROWING SEASONS.
3. DECIDUOUS TREES THAT OVERHANG PEDESTRIAN OR VEHICULAR ROUTES SHALL BE MAINTAINED TO KEEP AWAY FROM GROUND TO A HEIGHT OF 8 FEET OF BRANCHES AND FOLIAGE.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
5. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL PROVIDE MAINTENANCE SERVICES AND THAT SUCH SERVICES ARE PROVIDED IN A TIMELY MANNER.

1. PLANTING SOIL MIXTURE FOR PLANTINGS SHALL CONSIST OF: 1 PART PEST MOSS OR COMPOST, 3 PARTS TOPSOIL, "TRANSPLANT 1-STEP" FERTILIZER / BIOSTIMULANT / MYCORRHIZA INOCULANT AS MANUFACTURED BY ROOTS, INC. OR AN APPROVED EQUIVALENT, AND LIME AND OTHER AMENDMENTS AS INDICATED BY SOIL ANALYSIS.
2. PLANTING SOIL MIXTURE THE INFILTRATION/DENITRIFICATION FACILITY SHALL CONSIST OF: 30% TOPSOIL, 30% SAND, 20% STABILIZED ORGANIC COMPOST, 20% FINE SHREDDED WOOD CHIPS, AND LIME AND OTHER AMENDMENTS AS INDICATED BY SOIL ANALYSIS. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES OF THE CERTIFIED BIO-RETENTION PLANTING MIX FOR REVIEW AND APPROVAL.
3. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED (UNLESS IN LEAF). THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSEST PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, THE USE OF SUCH PLANTS WILL INCREASE THE COST OF THE PROJECT. OVERSIZED PLANTS ARE PROHIBITED. ALL PLANTINGS ARE TO BE ACCESSIBLE TO PEDESTRIAN ACCESSORS SHALL NOT BRANCH BELOW 7 FEET. IF THE TREE CALIPER IS 1 1/2 INCHES OR GREATER, ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT.
4. ALL SLOPES OF 3:1 OR GREATER RECEIVING A GRASS SEEDING SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
5. TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4 INCHES. CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL MAINTAIN THE TOPSOIL FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FOR THE TOPSOIL TEST AT NO INCREASE IN CONTRACT PRICE.

A. LAWN SEEDING/SOD MIXTURE:
SPECIES: 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15, UNLESS OTHERWISE APPROVED BY THE APPLICANT.

BASIN SEED MIXTURE		Native Detention Area Mix (ERNMX-183)	
Seeding Rate		20 lb per acre, or 1/2 lb per 1,000 sq ft	
Mix Type		Storm Water Management Facility Sites	
Species List	25%	Deertongue, 'Tioga' (Panicum clandestinum (Dichanthelium c.), 'Tioga')	
	25%	Fox Sedge, PA Ectype (Carex vulpinoidea, PA Ectype)	
	20%	Virginia Wildrye, PA Ectype (Elymus virginicus, PA Ectype)	
	20%	Switchgrass, 'Shawnee' (Panicum virgatum, 'Shawnee')	
	5%	Autumn Bentgrass, PA Ectype (Agrostis perennans, PA Ectype)	
	2%	Ticklegrass (Rough Bentgrass), PA Ectype (Agrostis scabra, PA Ectype)	
	1%	Soft Rush (Juncus effusus)	
	1%	Path Rush, PA Ectype (Juncus tenuis, PA Ectype)	
	1%	Green Bulrush, PA Ectype (Scirpus atrovirens, PA Ectype)	

Native Steep Slope Mix w/ Annual Ryegrass (ERNMX-181)	
Seeding Rate	60 lb per acre
Mix Type	Erosion Control & Revegetation
Species List	28.7% Sorghastrum nutans, PA Ecotype (Indiangrass, PA Ecotype)
	20.0% Lolium multiflorum (L. perenne var. italicum) (Annual Ryegrass)
	11.0% Andropogon gerardii, "Niagara" (Big Bluestem, "Niagara")
	10.0% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
	7.6% Tridens flavus (Purpletop)
	7.0% Elymus canadensis (Canada Wildrye)
	4.2% Schizachyrium scoparium (Andropogon scoparius), Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
	3.0% Panicum virgatum, "Shawnee" (Switchgrass, "Shawnee")
	2.5% Echinacea purpurea (Purple Coneflower)
	2.0% Chamaecrista fasciculata (Cassia f.), PA Ecotype (Partridge Pea, PA Ecotype)
	1.0% Coreopsis lanceolata (Lanceleaf Coreopsis)
	1.0% Rudbeckia hirta, Coastal Plain NC Ecotype (Blackeyed Susan, Coastal Plain NC Ecotype)
	0.7% Lespedeza virginica, VA Ecotype (Slender Lespedeza, VA Ecotype)
	0.5% Aster lateriflorus (Symphyotrichum lateriflorum) (Calico Aster)
	0.5% Monarda lateralis, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
0.3% Liatris spicata (Marsh (Dense) Blazing Star (Spiked Gayfeather))	



N.T.S.



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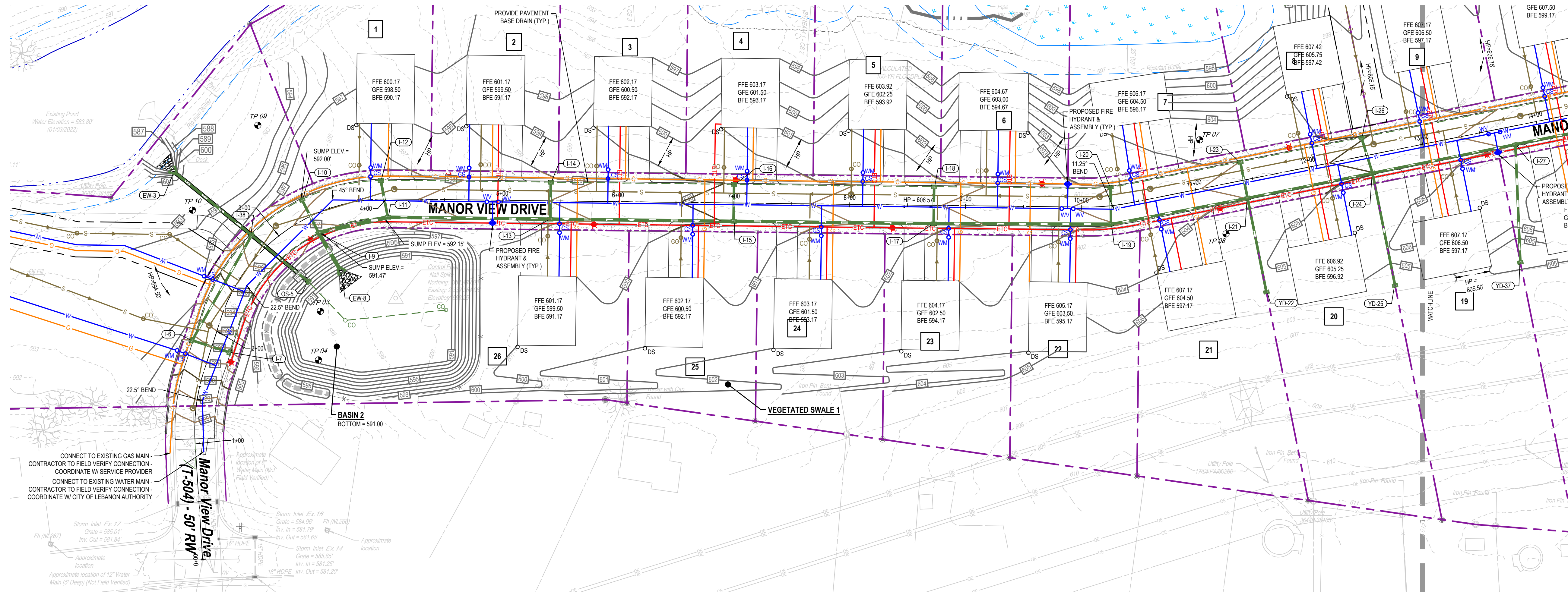
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TITLE

**LANDSCAPE
DETAILS**

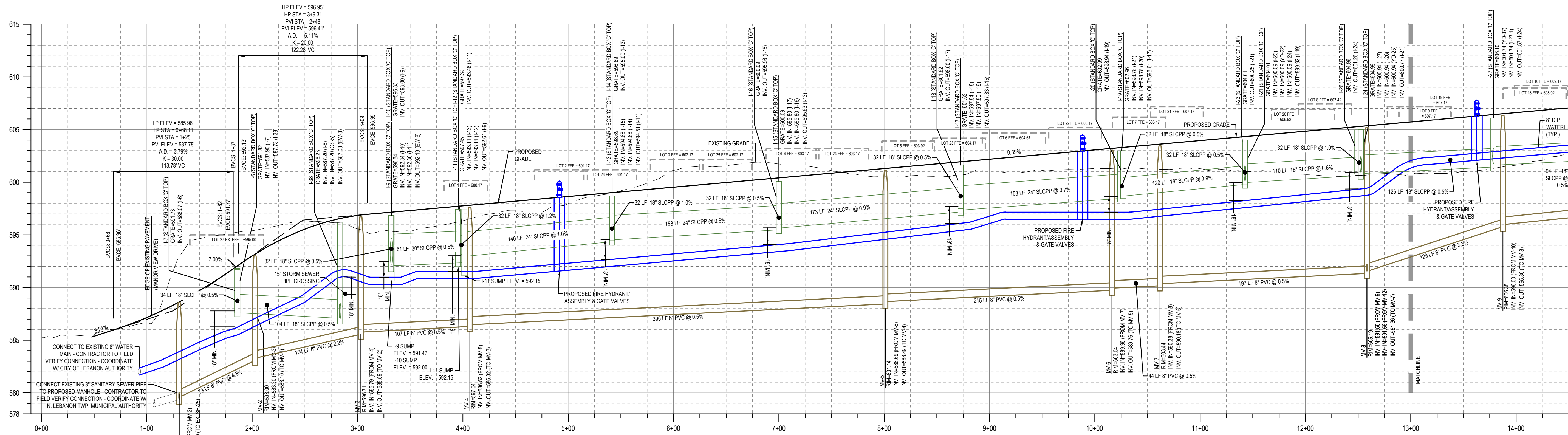
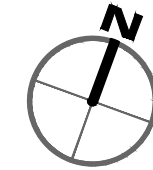
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MANOR VIEW DRIVE - PLAN VIEW

SCALE: 1"=50'

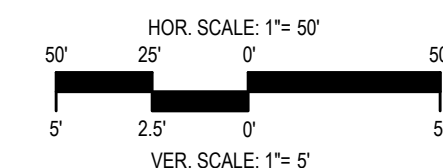


MANOR VIEW DRIVE

HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

CITY OF LEBANON AUTHORITY (WATER) NOTES

1. MAXIMUM WATER MAIN DEPTH: 3' 6" TO 6' 0"
2. MAXIMUM PIPE DEFLECTION SHALL BE PER 1/2 OF MANUFACTURER'S SPECIFICATIONS



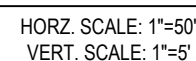
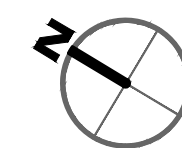
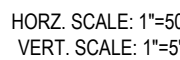
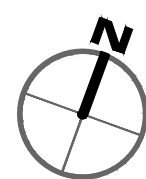
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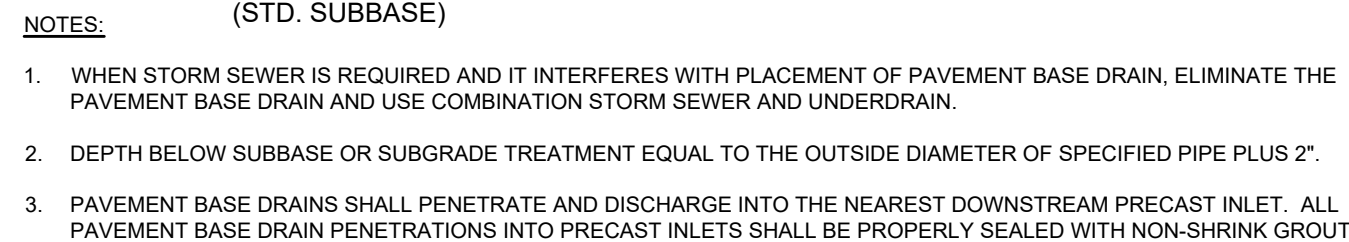
NO.	DATE	DESCRIPTION
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2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	03/05/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
4	03/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/05/2024	REVISED PER HDP SUBMISSION
7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

PROFILES

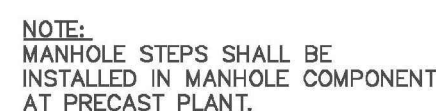
SHEET NO.


SHEET NO.

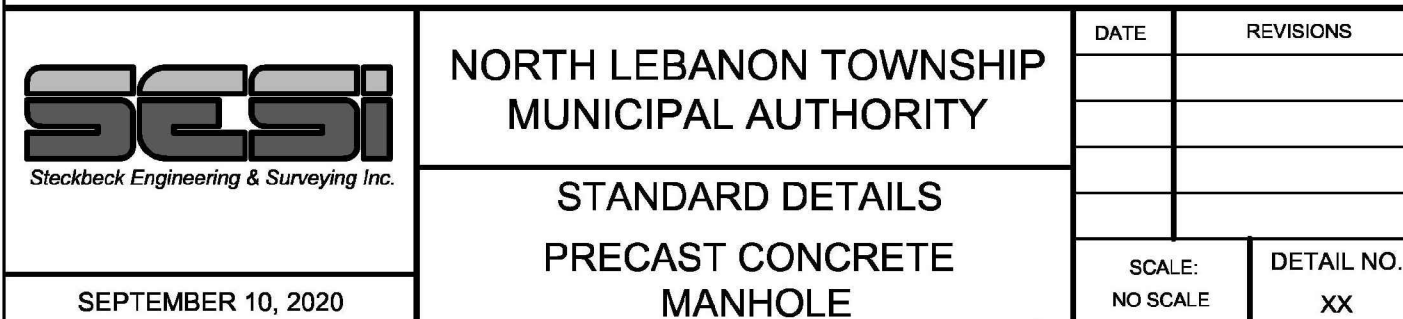
1. MAXIMUM WATER MAIN DEPTH: 3'-6" TO 6'-0"
2. MAXIMUM PIPE DEFLECTION SHALL BE PER 1/2 OF MANUFACTURE'S SPECIFICATIONS



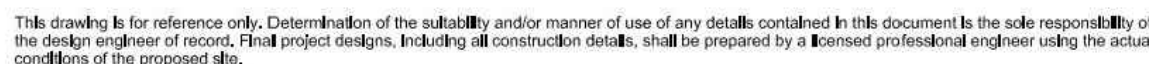
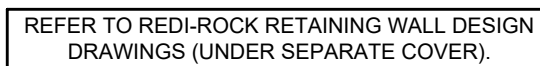
N.T.S



 Stockbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS
	STANDARD DETAILS PRECAST MANHOLE JOINT			
SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX



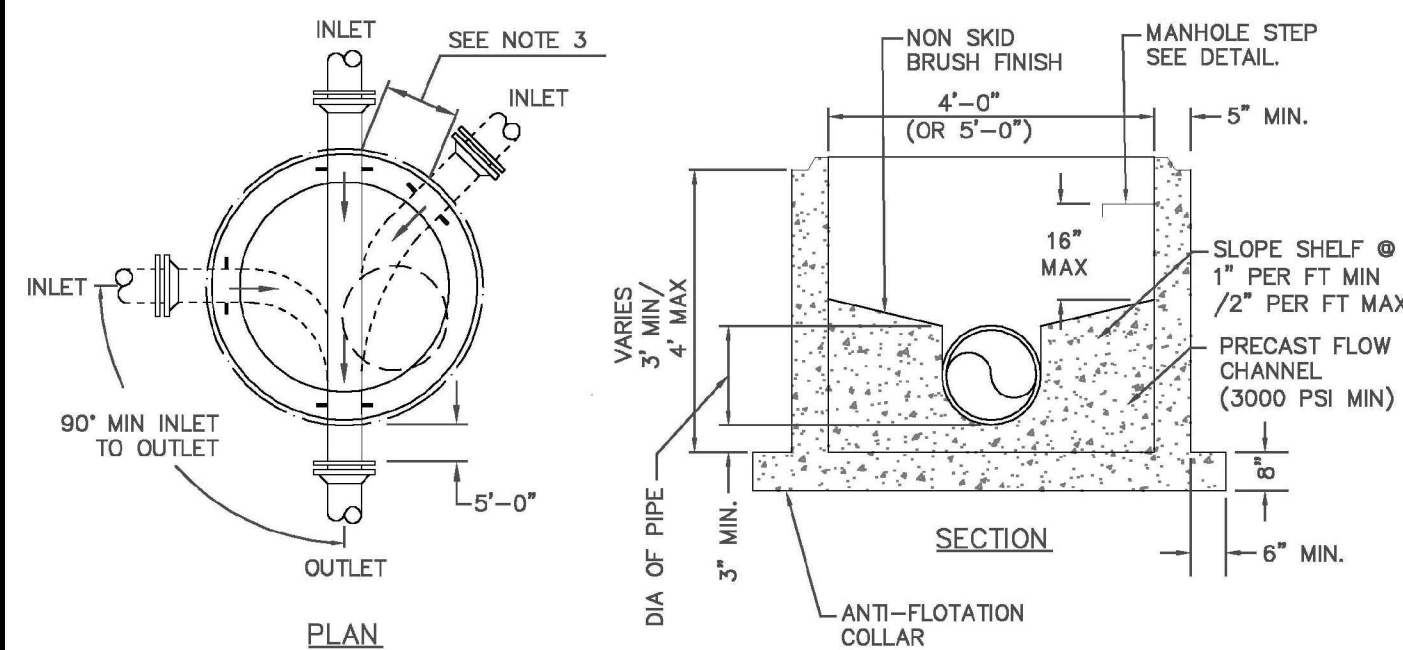
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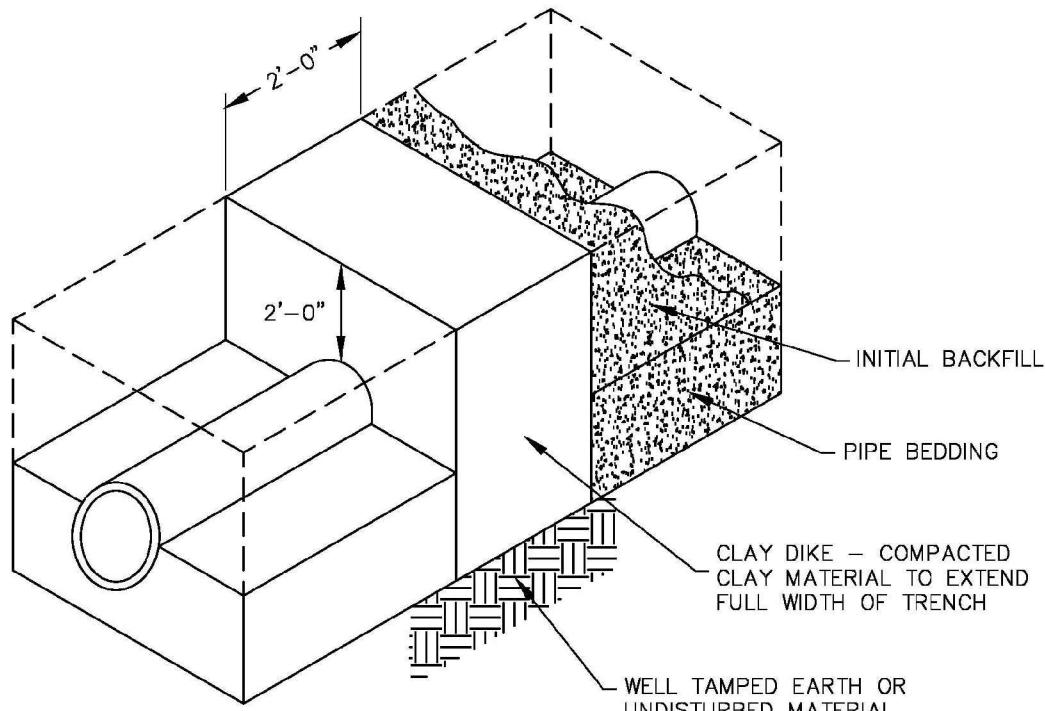


 Steckbeck Engineering & Surveying Inc.	NORTH LEBANON TOWNSHIP MUNICIPAL AUTHORITY		DATE	REVISIONS
	STANDARD DETAILS PRECAST MANHOLE BASE			
SEPTEMBER 10, 2020			SCALE: NO SCALE	DETAIL NO. XX

PROFESSIONAL SEAL	
DRAWN	MLS
REVIEWED	JLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE: 09 - DETAILS	

REVISIONS		DESCRIPTION
NO.	DATE	
1	01/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
2	07/12/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
3	01/09/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
4	02/25/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
6	06/03/2024	REVISED PER HDP SUBMISSION
7	04/02/2024	REVISED PER TWP. ENGINEER REVIEW

SHEET NO.



- NOTES:
1. CLAY DIKE SHALL CONSIST OF CLAY CONTAINING NO MORE THAN 15% (BY VOLUME) STONE NO LARGER THAN TWO (2) INCHES IN DIAMETER. CLAY SHALL BE PLACED IN SIX (6) INCH LIFTS AND COMPACTED BY MECHANICAL TAMPER TO NOT LESS THAN 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
 2. CLAY DIKE SHALL BE INSTALLED EVERY 200 FEET.

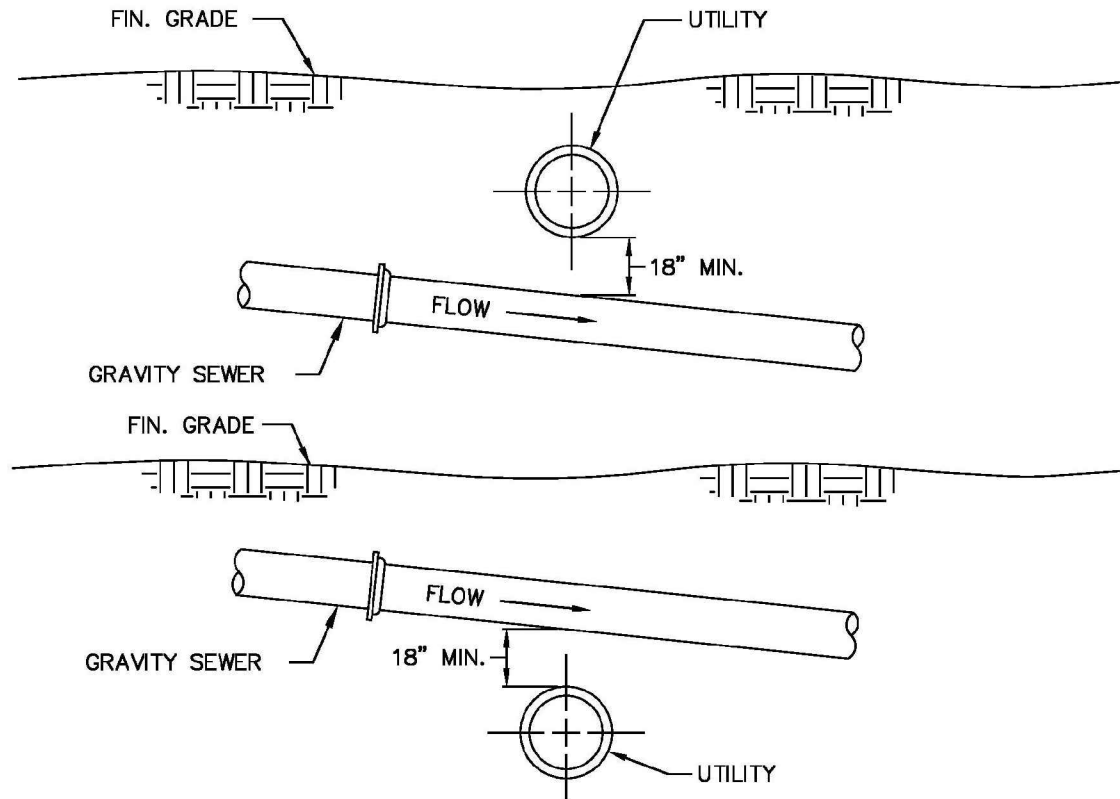


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
CLAY DIKE (TRENCH PLUG)

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX



NOTE: MAINTAIN SLOPE OF PROPOSED SEWER AT ALL CROSSINGS.

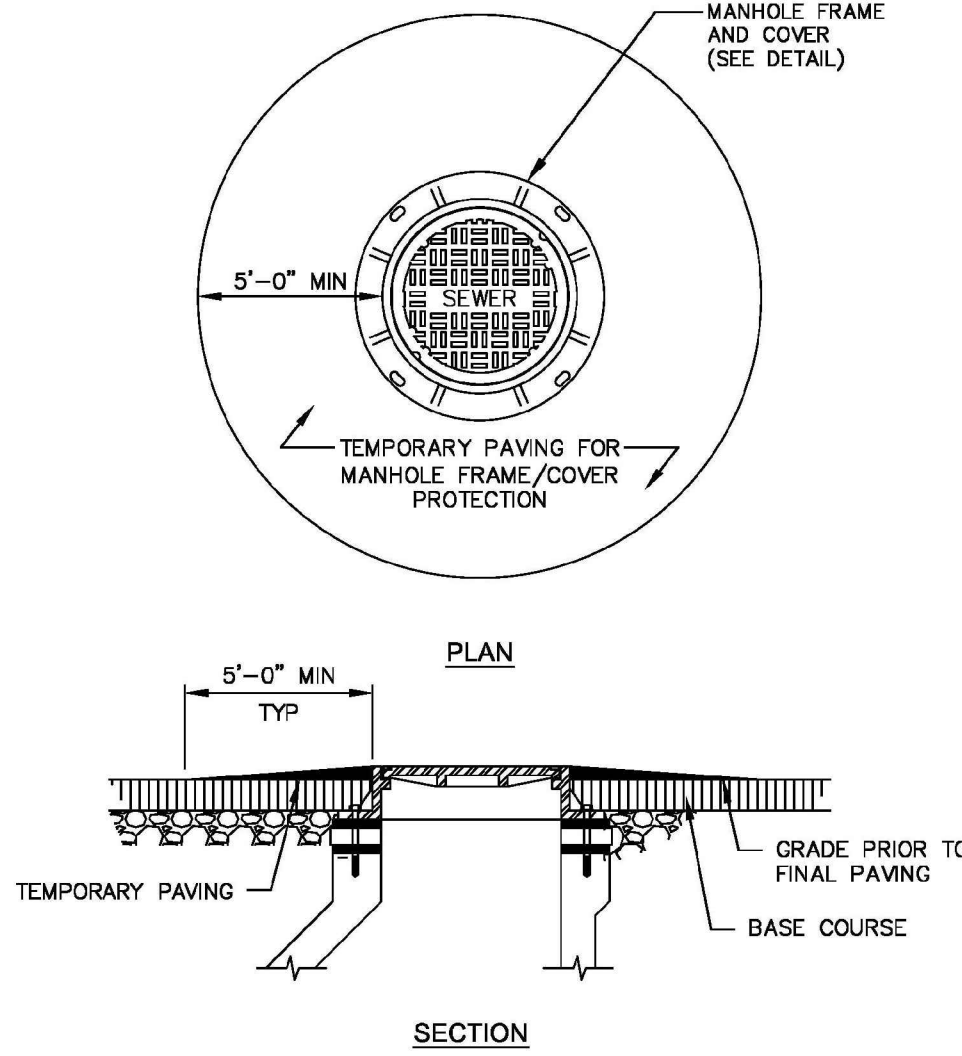


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
GRAVITY SEWER
CROSSING UTILITIES

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

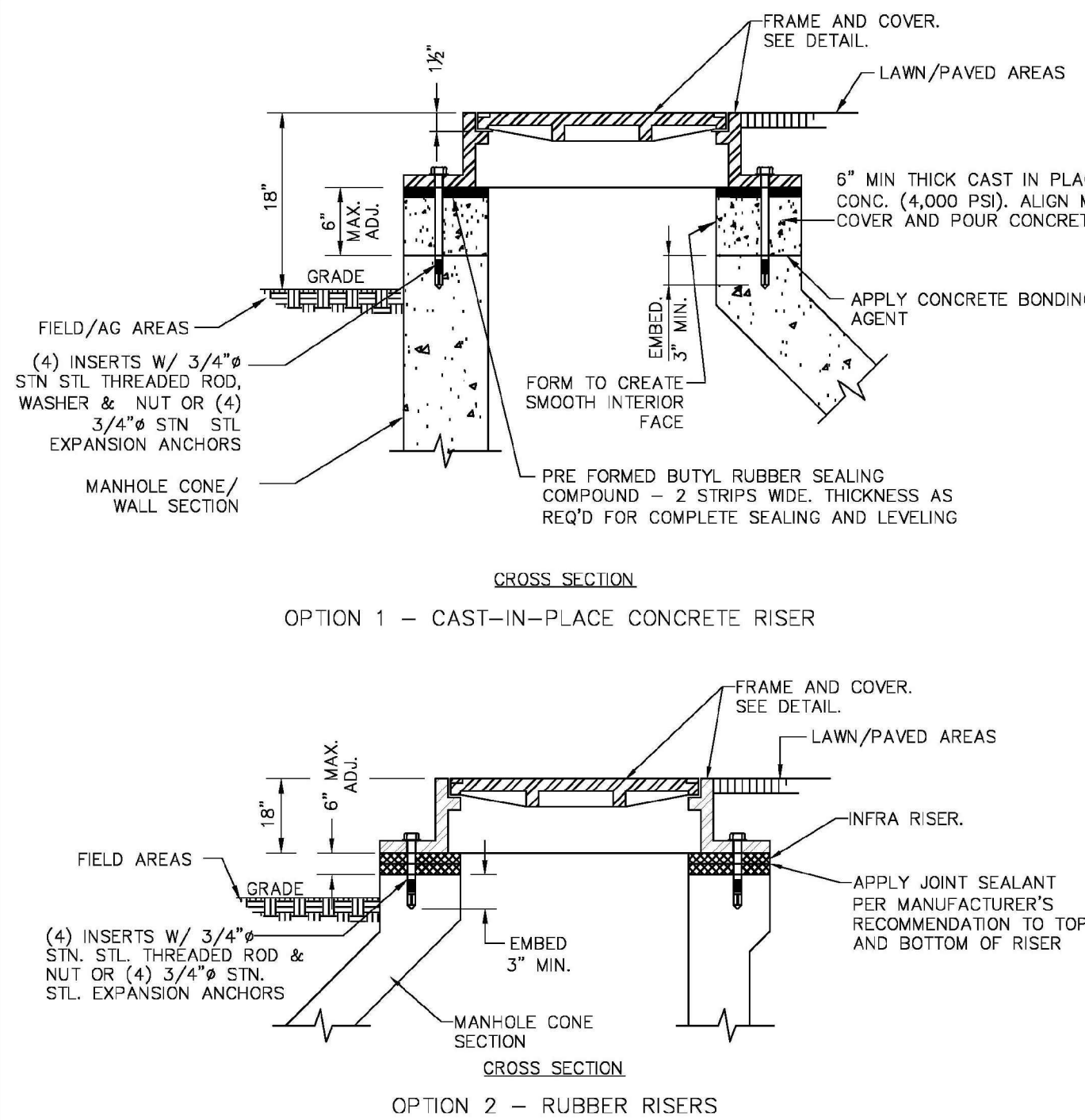


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
MANHOLE FRAME AND
COVER PROTECTION

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

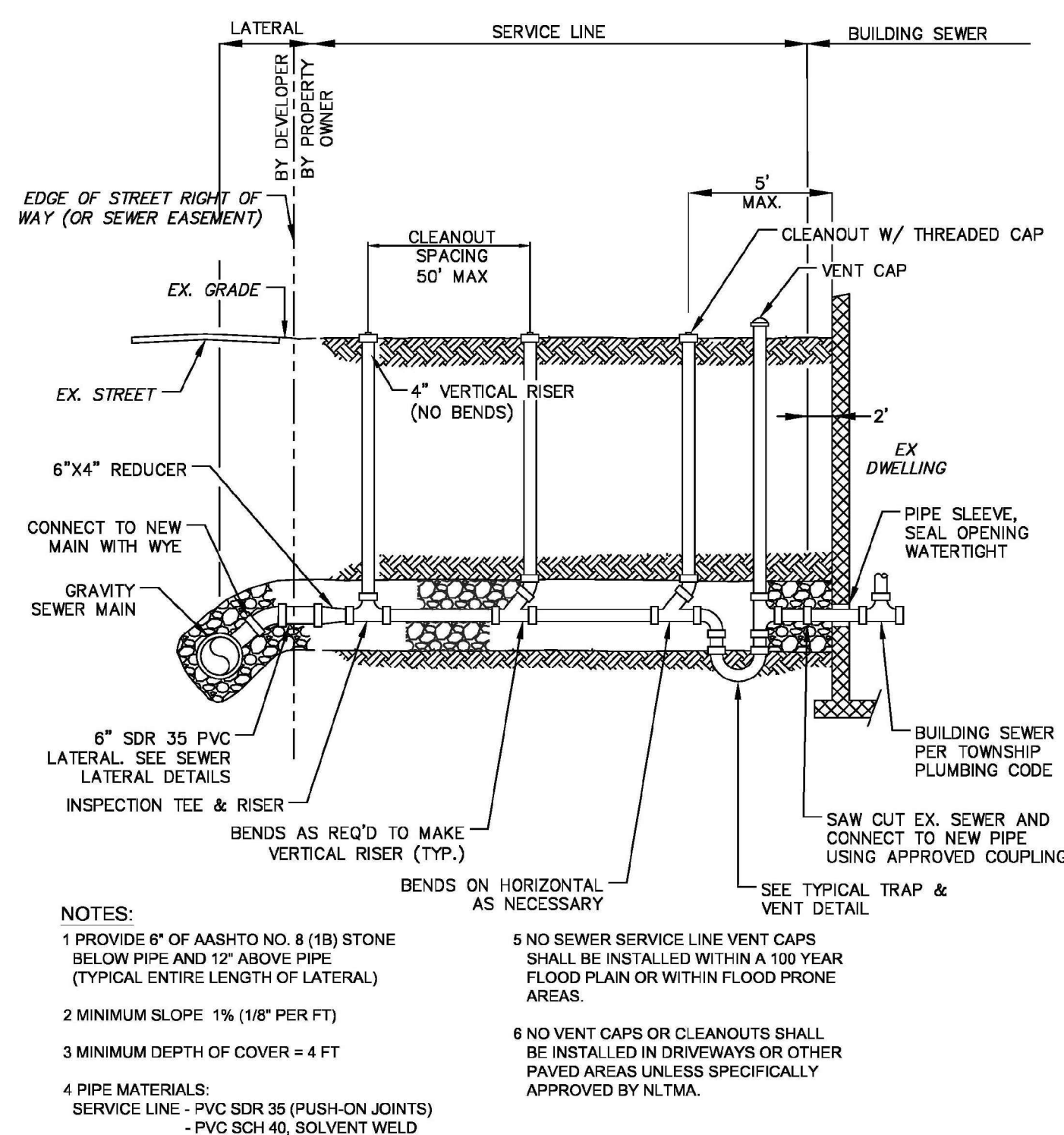


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
MANHOLE GRADE RINGS

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

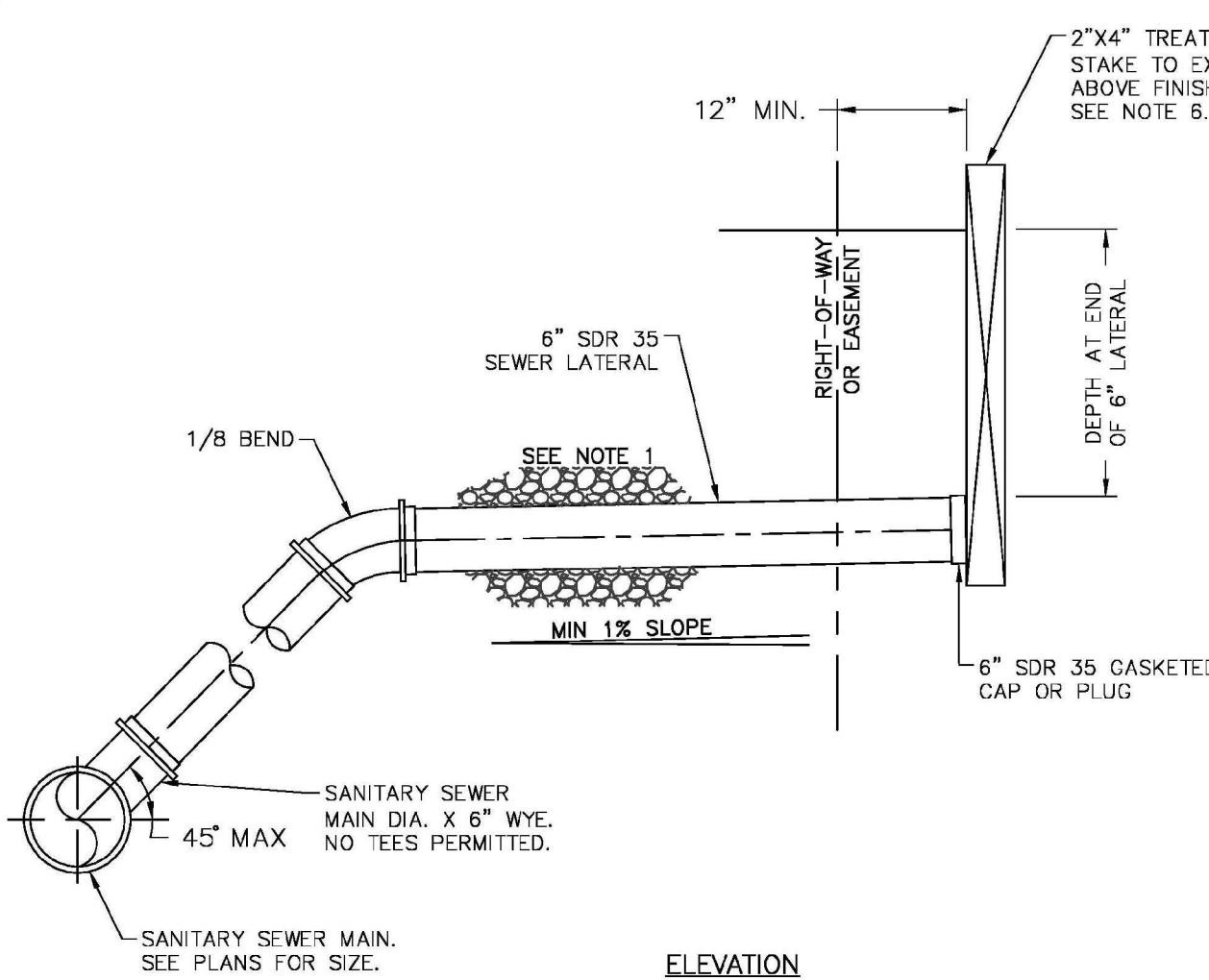


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
GRAVITY SERVICE LINE
INSTALLATION DETAIL

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

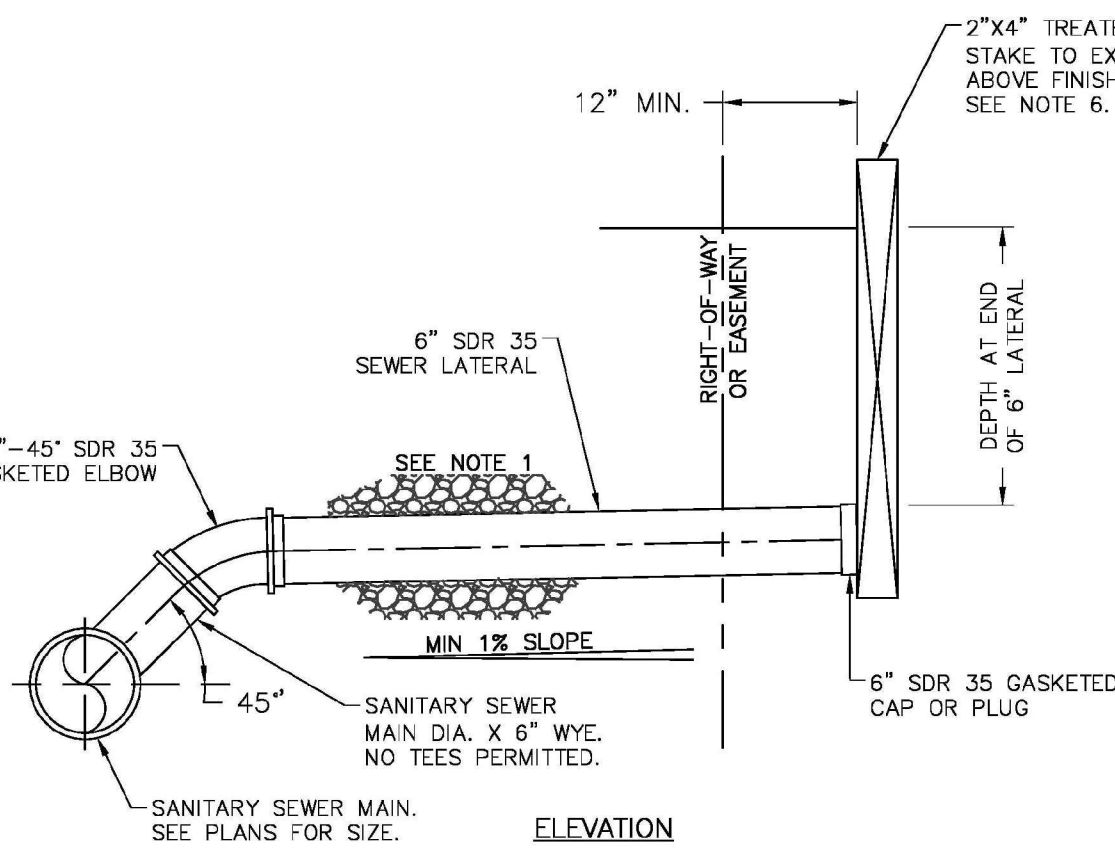


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
SEWER LATERAL
DEEP INSTALLATION

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

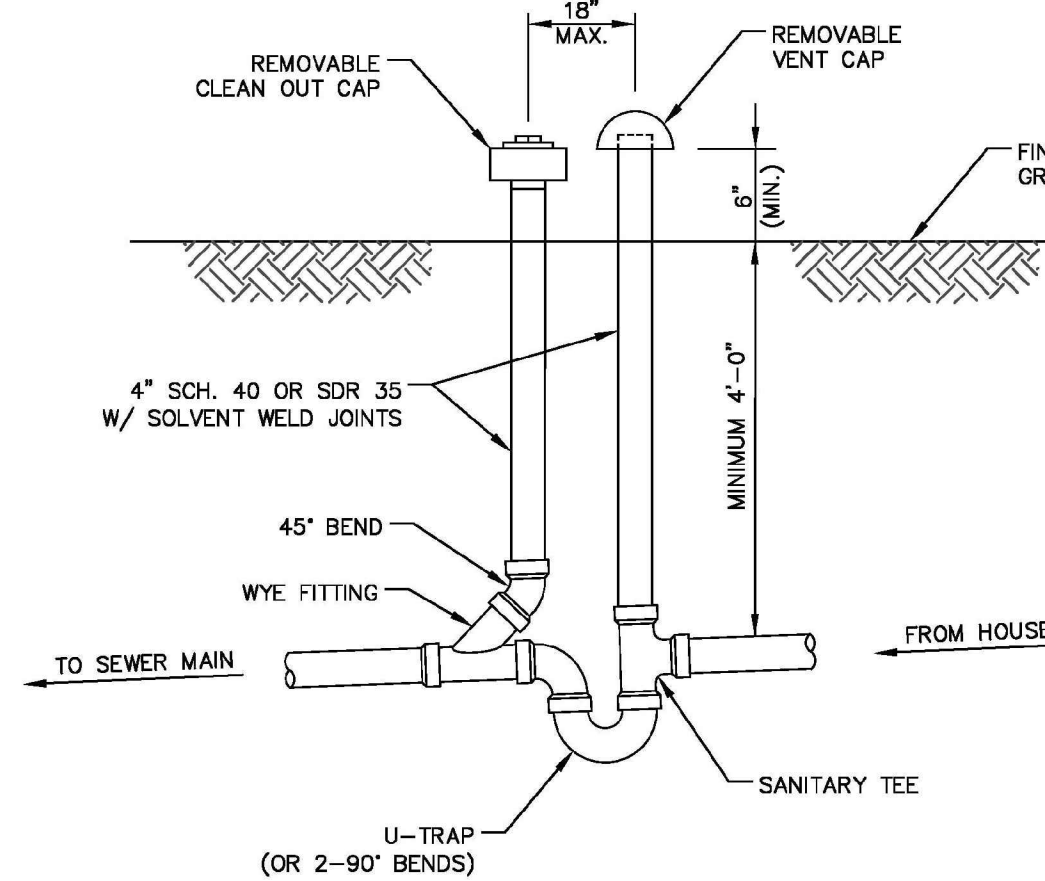


NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
SEWER LATERAL INSTALLATION

SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX



NORTH LEBANON TOWNSHIP
MUNICIPAL AUTHORITY

STANDARD DETAILS
TYPICAL TRAP &
VENT ASSEMBLY

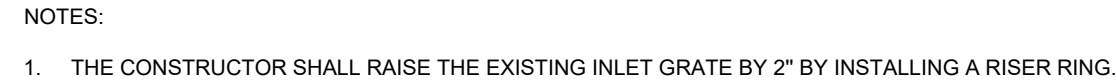
SEPTEMBER 10, 2020

DATE	REVISIONS
SCALE:	DETAIL NO.
NO SCALE	XX

DRAWN	MLS
REVIEWED	SLK
SCALE	AS NOTED
DATE	08/11/2023
PROJECT NO.	21-0192
CAD FILE:	09-DETAILS

REVISIONS	NO.	DATE	DESCRIPTION
	1	11/09/2023	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & COUNTY REVIEW COMMENTS
	2	01/23/2024	REVISED PER TWP. ENGINEER, AUTHORITY ENGINEER & WATER AUTHORITY REVIEW COMMENTS
	3	02/05/2024	REVISED PER WATER AUTHORITY ENGINEER REVIEW COMMENTS
	4	03/26/2024	REVISED PER TWP. ENGINEER REVIEW COMMENTS
	5	05/15/2024	REVISED PER TWP. ENGINEER REVIEW & WATER AUTHORITY REVIEW COMMENTS
	6	06/05/2024	REVISED PER H/C SUBMISSION
	7	09/03/2024	REVISED PER TWP. ENGINEER REVIEW

TITLE
DETAILS



N.T.S



N.T.S.



1. THE PROPOSED OUTLET STRUCTURE SHALL BE A 24"x48" CATCH BASIN INLET WITH NO TOP SLAB. INLET GRATE SHALL BE PLACED DIRECTLY ON BOX.
2. A PERMANENT TRASH RACK SHALL BE PROVIDED FOR ALL ORIFICES.
3. REFER TO DETAILS ON SHEET 39 FOR DEWATERING GATE VALVES TO BE INSTALLED WITHIN PERM. OUTLET STRUCTURES

N.T.S



1. REFER TO DETAILS ON SHEET 39 FOR DEWATERING GATE VALVES TO BE INSTALLED WITHIN PERM. OUTLET STRUCTURES

N.T.S



CATCH BASIN MARKINGS

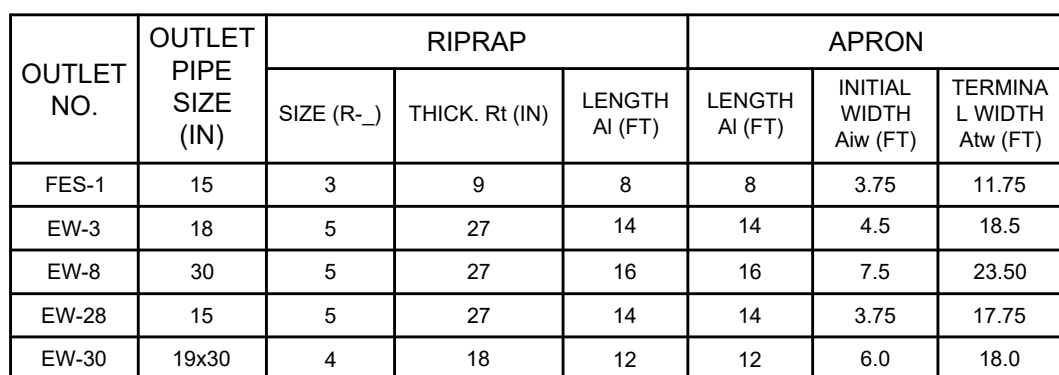


1. PRECAST MANHOLE STEPS - ALUMINUM ALLOY IN ACCORDANCE WITH PENNDOT SECTION 605.2 (C)
2. STEPS INSTALLED BY THE PRECAST MANHOLE MANUFACTURER MUST EQUAL #1 ABOVE

SWM STRUCTURE LADDER RUNG



EMERGENCY SPILLWAY



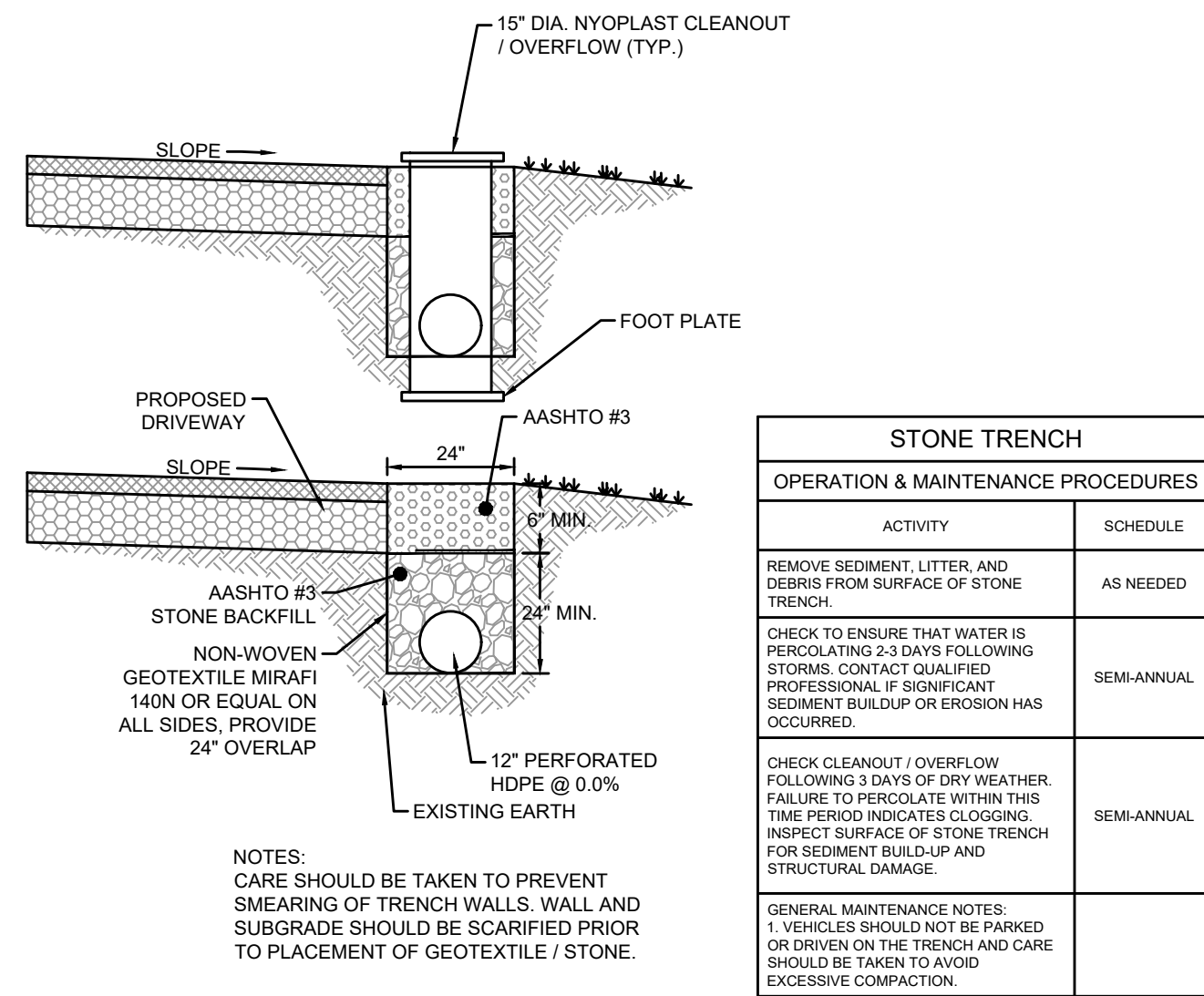
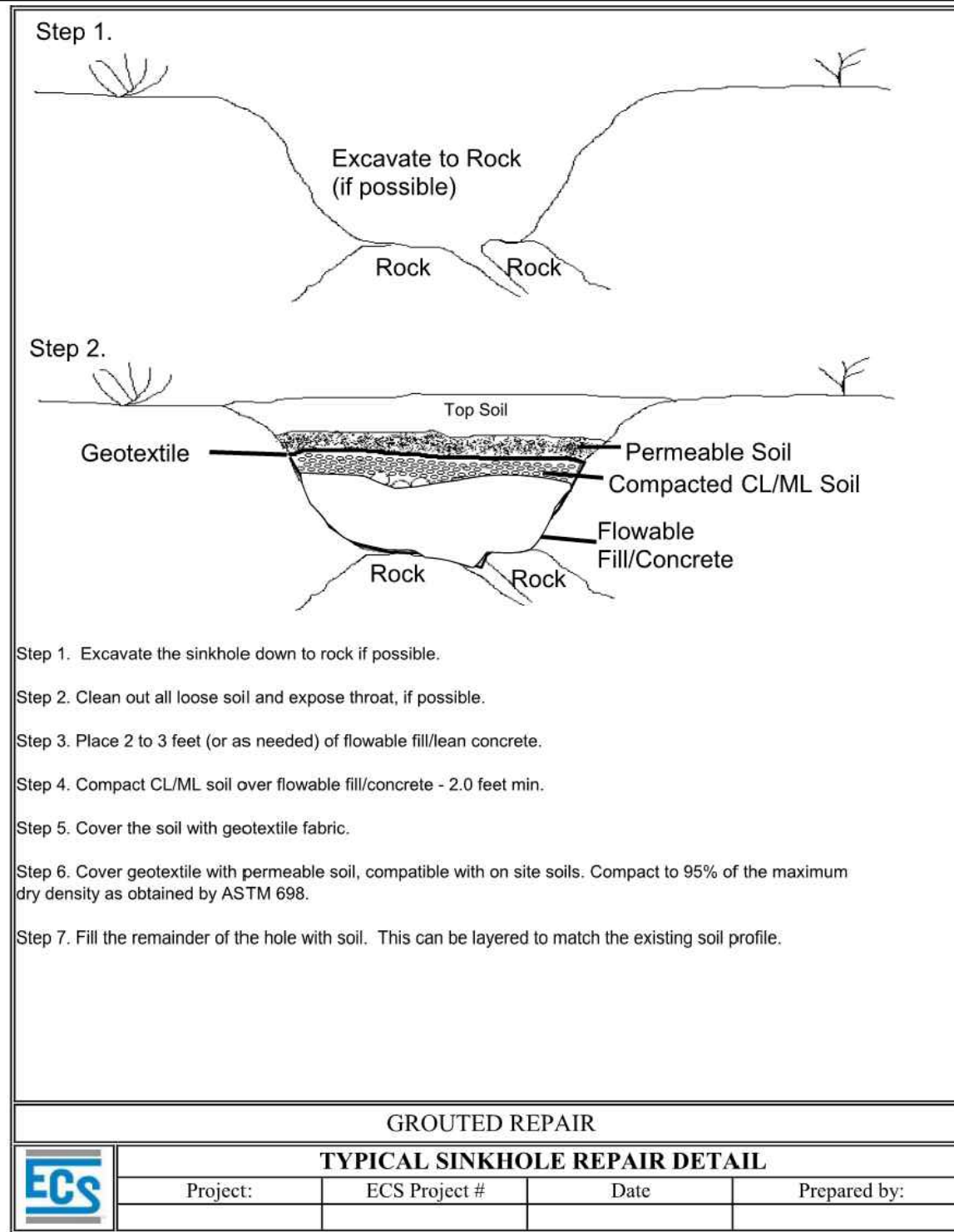
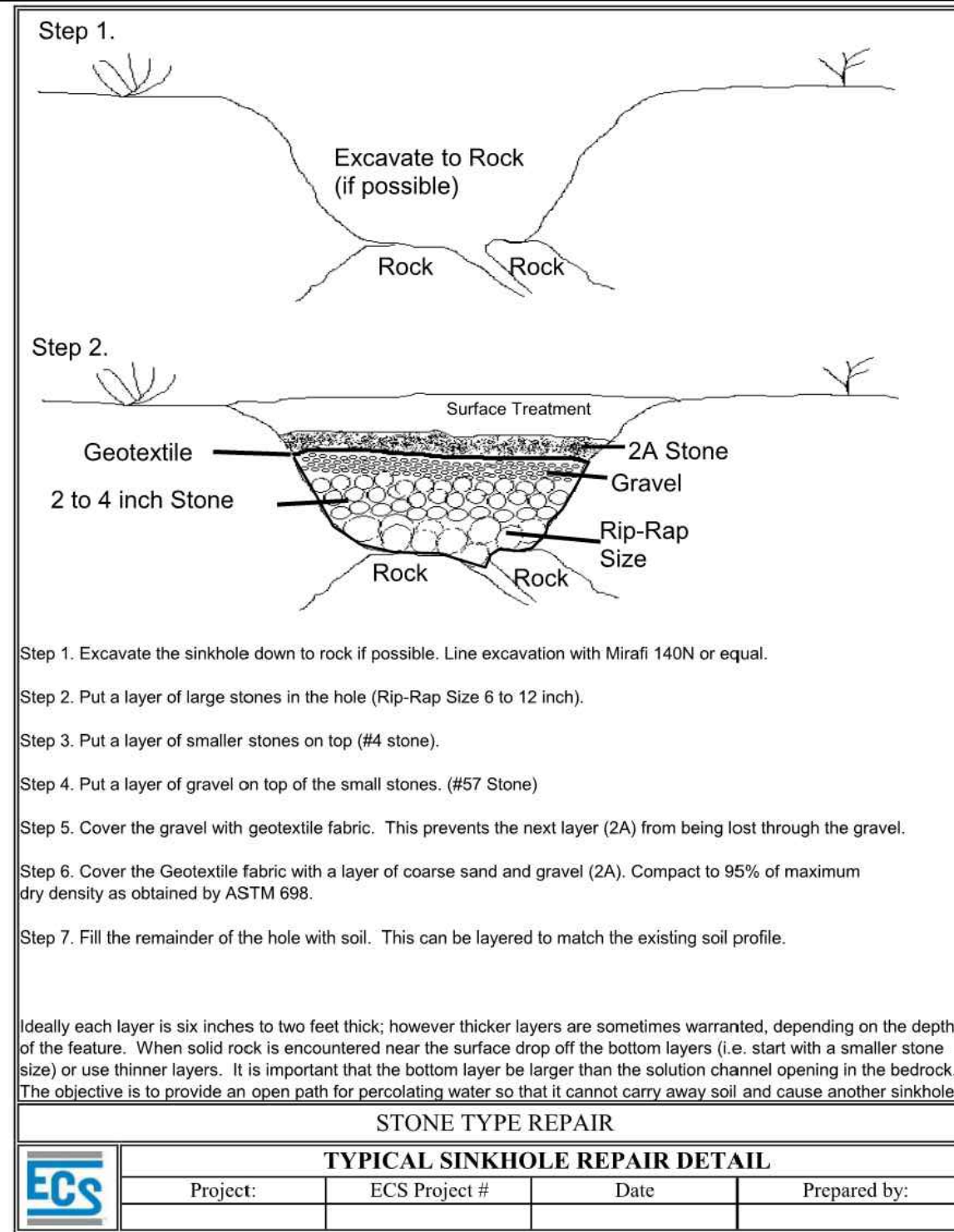
ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

N.T.S.

PADEP #9-1





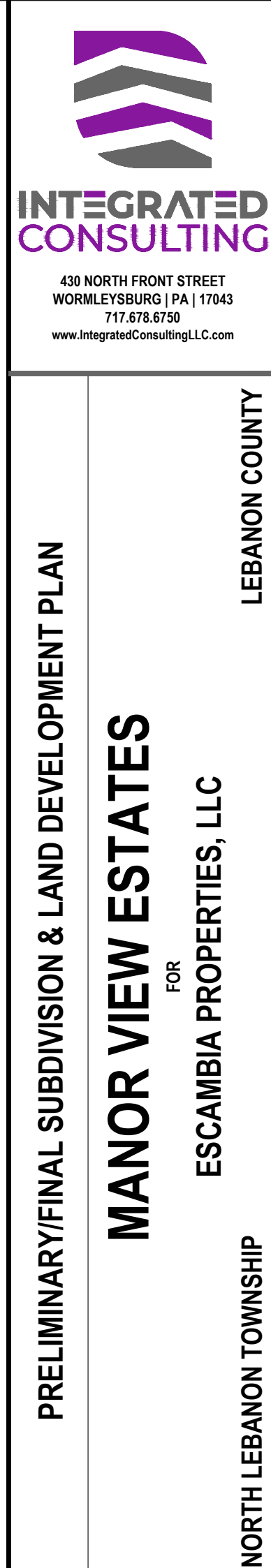
STONE TRENCH DETAIL

OPERATION & MAINTENANCE PROGRAM FOR BMPs

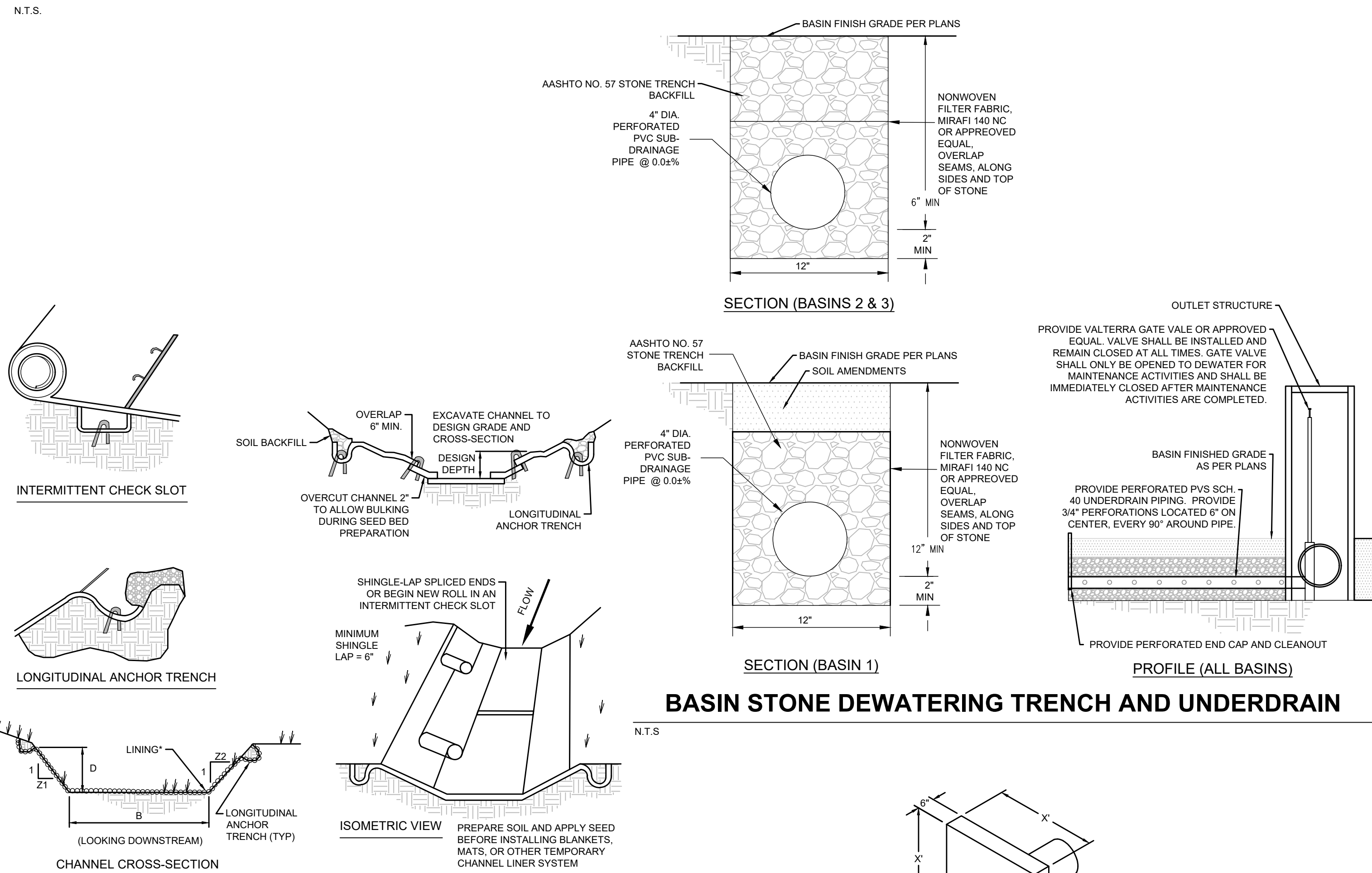
1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED INFILTRATION BASIN AND STORMWATER COLLECTION/CONVEYANCE SYSTEM. THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITEE).
2. ALL PCSM BMPs WILL BE INSPECTED ACCORDING TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT OR MAINTENANCE ACTIVITY.
3. SOIL, TRASH, DEBRIS OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE STORED AT THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET. SEQ. 271.1, AND 287.1 ET. SEQ. NO. 100.0001. MATERIALS THAT ARE NOT RECYCLED OR REUSED SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
4. ALL DAMAGED OR NON-FUNCTIONAL BMPs SHALL BE REPAIRED IMMEDIATELY. ANY PCSM BMPs THAT CANNOT BE REPAIRED MUST BE REPLACED AS SOON AS PRACTICABLE.
5. THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT STORMWATER FACILITIES LOCATED ON THE SUBJECT PROPERTIES. PERMANENT MAINTENANCE OF THE STORM SYSTEM AFTER CONSTRUCTION SHALL PRIMARILY CONSIST OF ROUTINE CLEANING OF ACCUMULATED SEDIMENT AND DEBRIS BY STAFF STAFF OR PRIVATE CONTRACTORS. THE SPECIFIC MAINTENANCE STEPS AND SCHEDULE ARE LISTED BELOW.
6. AT A MINIMUM, ALL BEST MANAGEMENT PRACTICES (Bmps) SHALL BE INSPECTED AT LEAST ANNUALLY. INSPECTIONS SHALL BE CONSIDERABLE ENT ANNUALLY FOR THE FIRST 5 YEARS, ONCE EVERY 3 YEARS THEREAFTER AND DURING OR IMMEDIATELY AFTER THE CESSATION OF A 100-YEAR OR GREATER STORM EVENT.
7. ALL PCSM BMPs SHALL BE ACCESSED FROM THE NEAREST PUBLIC ROW.

STORMWATER COLLECTION/CONVEYANCE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INLETS & CATCH BASINS SHOULD BE CLEARED OF DEBRIS. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE	CLEAN ONCE PER YEAR & REPAIR AS NEEDED
INSPECT OUTFALL STRUCTURES QUARTERLY DURING 1ST YEAR & 1X PER YEAR THEREAFTER	AFTER A STORM EVENT 0.25 INCHES OR GREATER
COLLECTION/CONVEYANCE SYSTEMS SHOULD BE INSPECTED 2X PER YEAR MINIMUM.	AFTER A STORM EVENT 0.25 INCHES OR GREATER
GENERAL MAINTENANCE NOTES:	
1. REMOVE DEBRIS AND CLOGGING FROM COLLECTION/CONVEYANCE FACILITIES BY VACUUMING.	
2. CATCH BASINS SHOULD BE CLEARED BEFORE HALF FULL.	

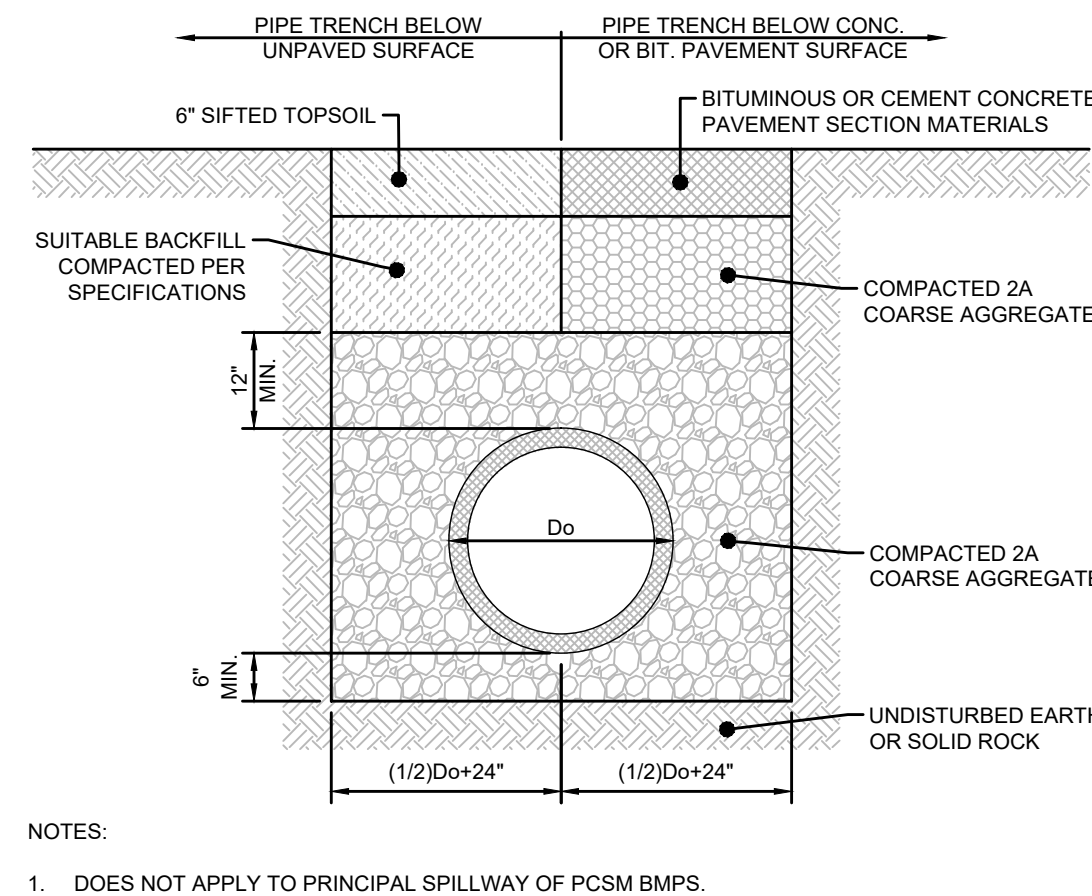
VEGETATED SWALE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
<p>PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT. RESEED BARE AREAS. ROTOTILL OR CULTIVATE THE SURFACE OF THE SAND/SILT BED OF DRY SWALES IF THE SWALE DOES NOT DRAW DOWN WITHIN 48 HOURS. WATER DURING DRY PERIODS. FERTILIZE, AND APPLY PESTICIDES WHEN NECESSARY. REMOVE SEDIMENT BUILD-UP WITHIN THE BOTTOM OF THE SWALE. ONCE IT HAS ACCUMULATED TO 25% OF THE ORIGINAL DESIGN VOLUME, OR ONCE IT HAS COVERED VEGETATION.</p>	<p>AS NEEDED AND AFTER A STORM EVENT 0.25 INCHES OR GREATER</p>
<p>INSPECT AND CORRECT EROSION PROBLEMS. DAMAGE TO VEGETATION. DAMAGE TO CHECK DAMS, AND SEDIMENT AND DEBRIS ACCUMULATION. INSPECT GRASS ALONGSIDE SLOPES FOR EROSION, RILLS, OR GULLIES. INSPECT MOW AND TRIM VEGETATION TO ENSURE SAFETY. PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE SPECIES. VEGETATION. INSPECT FOR POOLS OF STANDING WATER. DEWATER & DISCHARGE TO AN APPROVED LOCATION. RESTORE TO DESIGN GRADE. INSPECT FOR UNIFORMITY IN CROSS-SECTION & LONGITUDINAL SLOPE. CORRECT AS NEEDED. INSPECT SWALE INLET AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE. CORRECT AS NEEDED.</p>	<p>ANNUALLY AND AFTER A STORM EVENT 0.25 INCHES OR GREATER</p>
<p>INSPECT SWALE IMMEDIATELY AFTER SPRING MELT. REMOVE RESIDUALS AND REPLACE DAMAGED VEGETATION. ROADSIDE OR PARKING LOT RUNOFF IS DIRECTED TO THE SWALE. MULCHING &/OR SOIL AERATION MAY BE REQUIRED IN THE SPRING TO IMPROVE SOIL STRUCTURE & MOISTURE CAPACITY & TO REDUCE THE IMPACT OF DEICING AGENTS. USE NONTOXIC, ORGANIC DEICING AGENTS. PLANT SALT TOLERANT VEGETATION IN SWALES.</p>	<p>ANNUAL- SPRING AND AFTER A STORM EVENT 0.25 INCHES OR GREATER</p>
<p>POTENTIAL FAILURES:</p> <p>1. SWALE IS NOT DEWATERING - DISC OR OTHERWISE AERATE THE BOTTOM OF THE SWALE TO 2 INCHES DEEP TO IMPROVE SOIL STRUCTURE AND SLOPE STABILIZATION MATTER PER ORIGINAL SPECIFICATIONS.</p>	



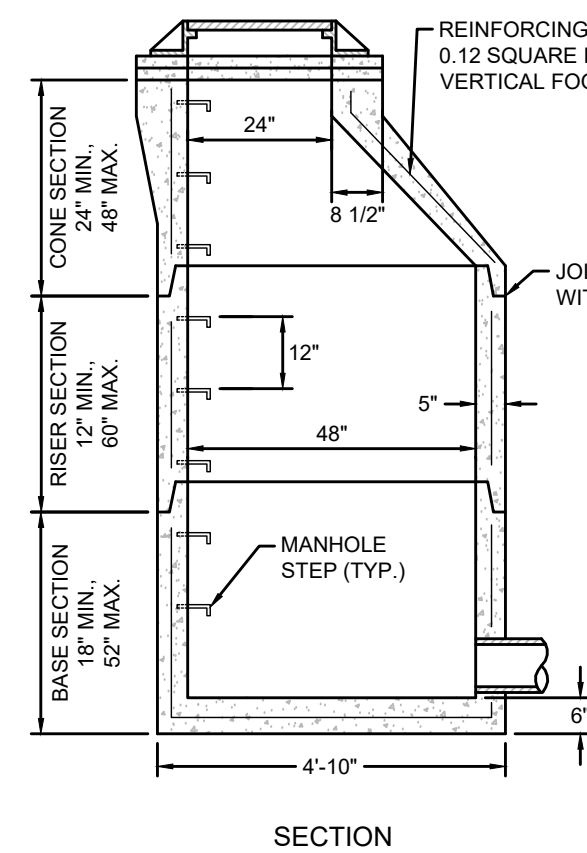
SINKHOLE REPAIR DETAILS



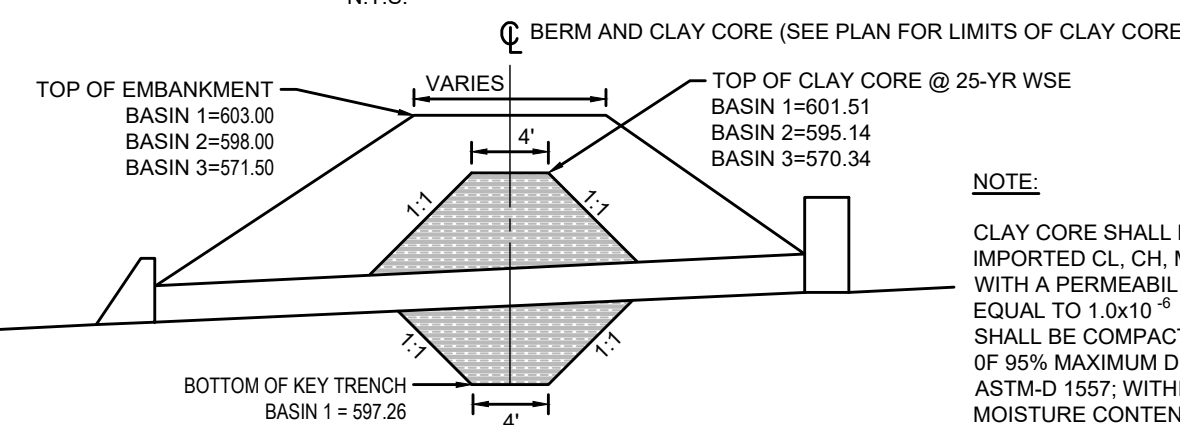
BASIN STONE DEWATERING TRENCH AND UNDERDRAIN



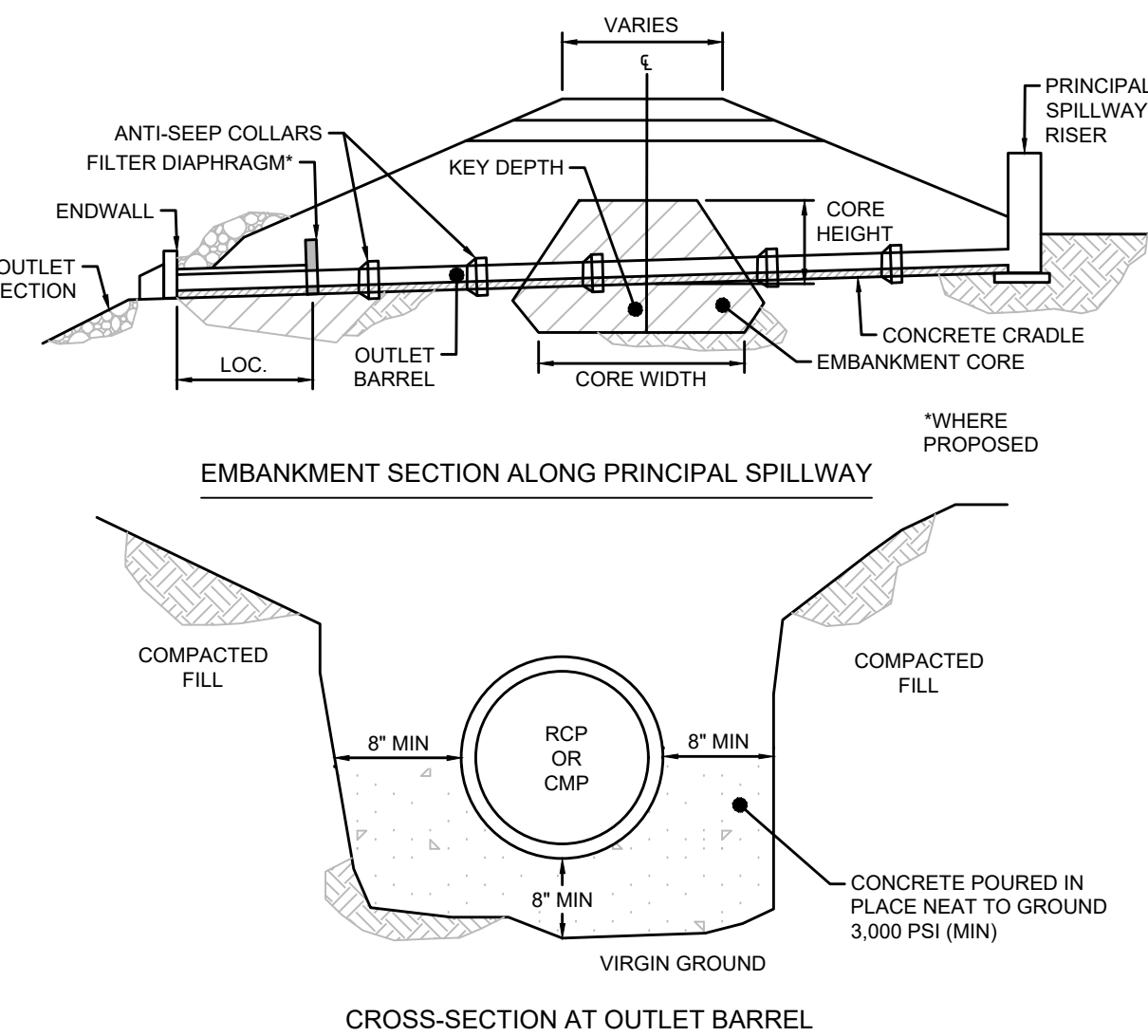
TYPICAL STORM PIPE TRENCH SECTION



**4' DIA. PRECAST
CONCRETE MANHOLE**



CLAY CORE



CONCRETE CRADLE FOR BASIN OR TRAP OUTLET BARREL DETAIL

CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING*
VEGETATED SWALE 1	ALL	5	1	11	3	3	NAG S75 (STAPLE PATTERN E)

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

STAPLE PATTERN E SHALL BE USED

VEGETATED CHANNEL

OUTLET PIPE DESIGNATION	NUMBER OF COLLARS	COLLAR SPACING (FT)	X (IN)	DIST. FROM OUTLET STRUCTURE (FT)
OS-2 (BASIN 3)	2	4	27	5
OS-5 (BASIN 2)	3	4	40	5
OS-29 (BASIN 1)	3	4	29	5

NOTES:

1. MIN. CONCRETE COMPRESSIVE STRENGTH = 4,000 P.S.I.
2. REINFORCEMENT SHALL BE 6x6 W4.0xW4.0 OR #3 REBAR SPACED 12" EACH WAY, CENTERED WITHIN COLLAR, 3" MIN. COVER
3. SEE BASIN PROFILE FOR LOCATION.

CONCRETE ANTI-SEEP COLLAR

NOTE:

CLAY CORE SHALL BE COMPOSED OF IMPORTED CL, CH, MH OR CL-ML SOIL WITH A PERMEABILITY LESS THAN OR EQUAL TO 1.0×10^{-6} CM/S. MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM-D 1557; WITHIN $\pm 3\%$ OPTIMUM MOISTURE CONTENT.

NOTE: A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS AND/OR FILTER DIAPHRAGM

ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN

FILTER DIAPHRAGM LOCATION (LOC.) SHALL BE AS SHOWN IN FIGURE 7.8 FOUND IN PENNSYLVANIA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.